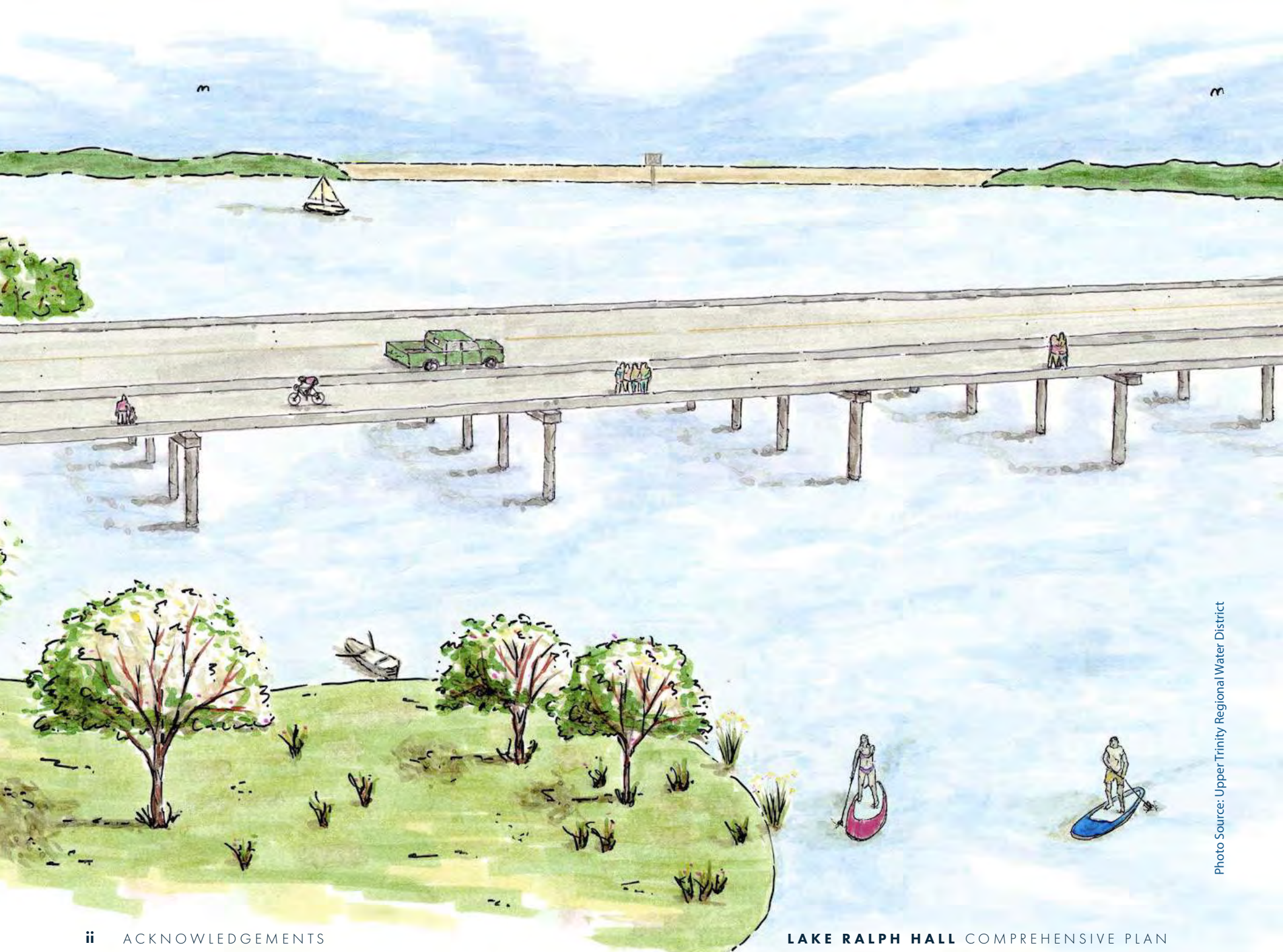


An aerial, high-angle photograph of a multi-lane highway bridge spanning across a body of water. The bridge has several lanes with dashed white lane markings. A white van is in the left lane, a car is in the middle lane, and a cyclist is in the right lane. A small boat is visible on the water to the left of the bridge. The entire image is overlaid with a semi-transparent dark blue filter.

# LAKE RALPH HALL COMPREHENSIVE PLAN

**ADOPTED**  
OCTOBER 11, 2022



3

3

# ACKNOWLEDGMENTS

The Lake Ralph Hall Comprehensive Plan was developed by the Fannin County Commissioners Court and the Lake Ralph Hall Zoning Commission. The Comprehensive Plan aims to guide future development around Lake Ralph Hall and protect the water quality. Thanks to the County Commissioners, Zoning Commissioners, County Staff, and City staff that provided assistance and insight throughout the process.

## FANNIN COUNTY

Randy Moore, County Judge

Edwina Lane, Precinct 1 Commissioner

A.J. Self, Precinct 2 Commissioner

Jerry Magness, Precinct 3 Commissioner

Dean Lackey, Precinct 4 Commissioner

Di Hopkins, Development Services Director

## LAKE RALPH HALL ZONING COMMISSION

Jerry Magness, Chair

Newt Cunningham

Jan Cooper

Jaylen Wallace

John Ed Shinpaugh

## CITY OF LADONIA

Patricia Harrod, Mayor

Discha Threlkeld, Mayor Pro-Tem

Jan Cooper, Former Mayor

Todd Akers, Former Mayor Pro-Tem

Dana Burkett, City Secretary

## UPPER TRINITY REGIONAL WATER DISTRICT

Upper Trinity Regional Water District Board of Directors

Larry N. Patterson, Executive Director

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# NORTH SULPHUR RIVER FANNIN COUNTY, TEXAS





# CHAPTER 1 BASELINE ANALYSIS

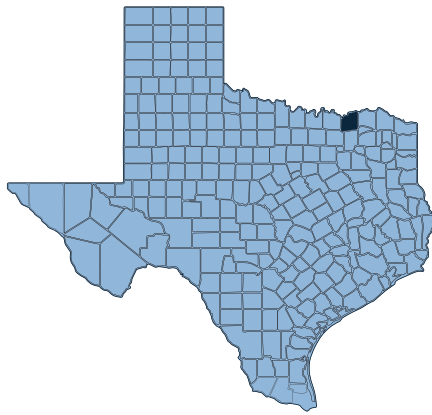
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# INTRODUCTION

The Upper Trinity Regional Water District (UTRWD) is a non-profit conservation and reclamation district created pursuant to Article XVI, Section 59 of the constitution of the State of Texas that provides wholesale regional water and wastewater services. It currently serves one of the fastest growing regions in North Texas. UTRWD's service area includes all of Denton County, plus limited portions of Collin and Dallas Counties, consisting of 30 different cities, towns, and utilities (e.g., water corporations).

The service area's population is expected to increase nearly fivefold within 50 years, requiring around 140 million gallons of fresh water daily for the communities it serves. To meet the needs of the expected population and support businesses, jobs, and economic prosperity in the region, UTRWD actively plans today with Fannin County, the City of Ladonia and surrounding cities for the water it will need to support these thriving communities.

Figure 1. Fannin County Regional Location



Lake Ralph Hall will be located on the North Sulphur River near Ladonia in Fannin County. The total project size is approximately 16,000 acres, including the watershed protection areas planned for mitigation and erosion control shown on Map 1. The lake's surface area will be approximately 7,568 acres or just under 12 square miles.

Lake Ralph Hall has been decades in the making, with its first permit filed in 2003. In addition to the lake, UTRWD will be adding the following infrastructure and improvements around the lake:

1. Constructing the reservoir, including Leon Hurse Dam and the spillway and intake pump station,
2. Constructing 32 miles of untreated water pipeline (60"-72" diameter pipeline) and balancing reservoir,
3. Building the lake administration, operation and maintenance facility,
4. Relocating Ladonia Fossil Park,
5. Building a bridge on SH 34 with pedestrian access,
6. Making environmental improvements to restore portions of the North Sulphur River to its natural, meandering path and protect water quality, and
7. Realignment of FM 1550.



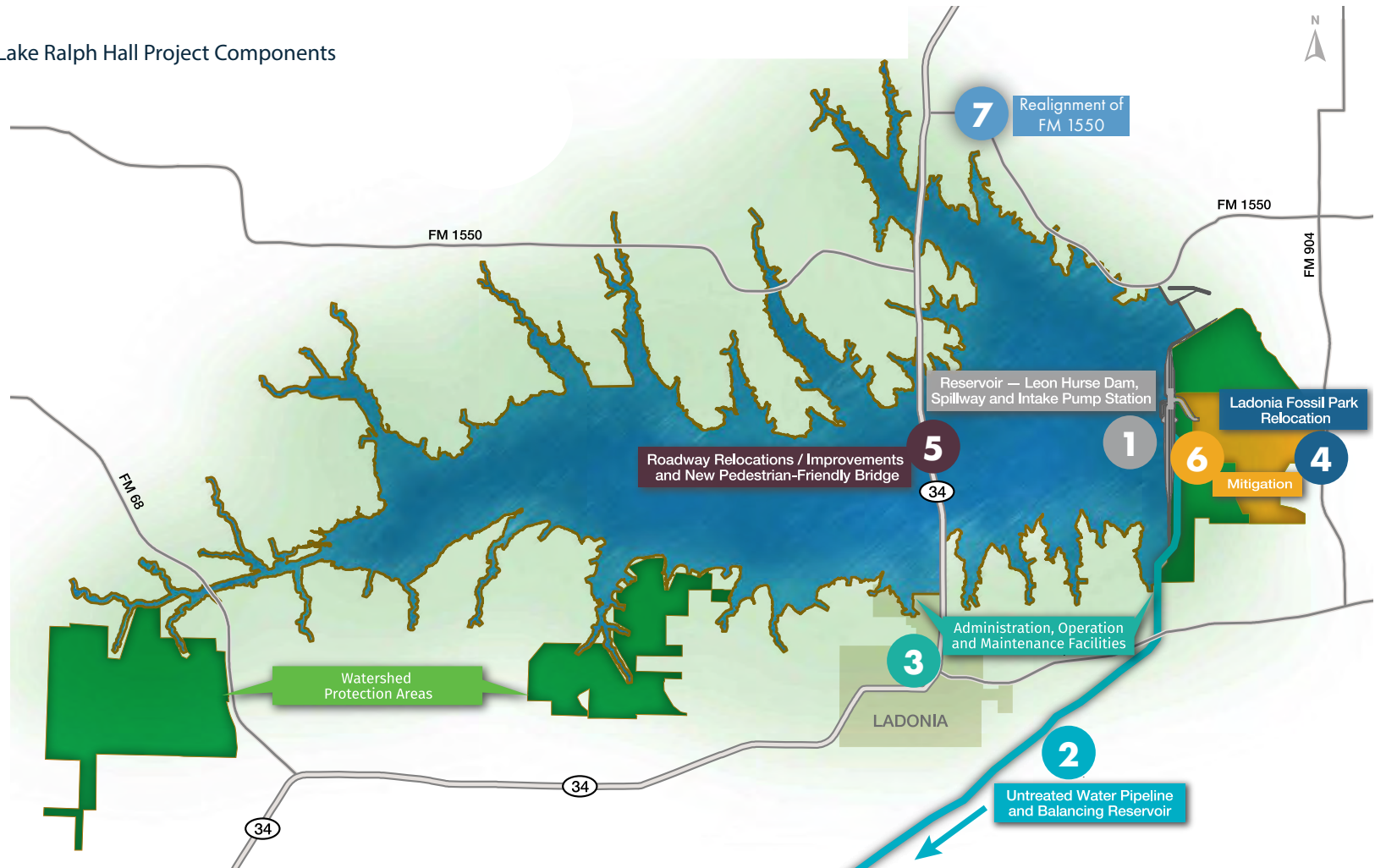
In July 2021, UTRWD relocated the Ladonia Fossil Park to a temporary location on the north side of the river east side of FM 2990 to allow fossil hunters to access the riverbed during the reservoir's construction. UTRWD and the City of Ladonia are selecting a permanent location downstream of the reservoir for the Ladonia Fossil Park



Construction of the SH 34 Bridge in August 2021



Map 1. Lake Ralph Hall Project Components



SH 34 Bridge with Pedestrian Access



SH 34 Bridge with Pedestrian Access



UTRWD lake administration, operation and maintenance facility



Intake Pump Station



Leon Hurse Dam

# HISTORY

Over 30 years ago, the concept of Lake Ralph Hall was born at the Ladonia Town Hall. Mayor Leon Hurse and other members of the City of Ladonia and Chamber of Commerce started to explore the option of developing a lake in Fannin County to provide water to the residents and as a way to boost the local economy. For the next decade, the group met regularly to advance their idea of a new lake.

In 2004, Congressman Ralph Hall advised the City of Ladonia to partner with a prominent water provider to help the City develop the new lake. In December 2004, the City of Ladonia and Upper Trinity Regional Water District (UTRWD) entered into a formal partnership to develop a surface water supply lake in Fannin County on the North Sulphur River. Since the City's partnership with UTRWD, the residents and representatives of Fannin County, the City of Ladonia, and UTRWD have played a key role in the development of Lake Ralph Hall.

After years of planning and coordination, the Texas Commission on Environmental Quality granted the water rights permit for Lake Ralph Hall to UTRWD on December 11, 2013. UTRWD was also required to obtain a Section 404 (Clean Water Act) permit from the U.S. Army Corps of Engineers (USACE). After nearly 15 years of working with USACE, a Record of Decision and permit were issued in January 2020. Construction of the lake reservoir commenced in June 2021 and it is scheduled to begin delivering water by 2026.

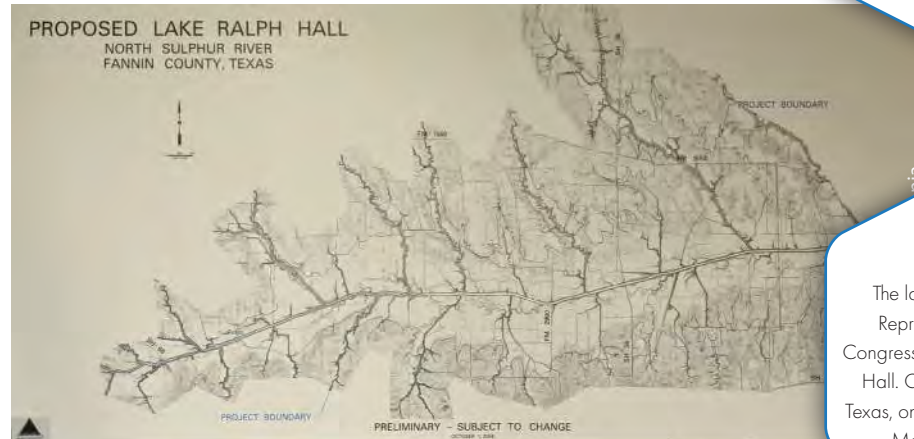


Larry Patterson, the Executive Director of UTRWD, signing the Section 404 permit issued by the United States Army Corps of Engineers with Ronna Hartt (UTRWD) on the left and Ed Motley (UTRWD) on the right

## MUTUAL AGREEMENTS

UTRWD has entered into two contracts with local governmental entities:

- City of Ladonia (2004) for water services.
- Fannin County (2008) for the lake property.
- UTRWD 2013 Letter (see Appendix 1).



Map of Lake Ralph Hall during early planning stages in 2004

## RALPH M. HALL

The lake was named after former Texas Representative (term 1962-1972) and Congressman (term 1981-2015) Ralph Moody Hall. Congressman Hall was born in Fate, Texas, on May 3, 1923, and passed away on March 7, 2019, in Rockwall, Texas.

# PLANNING FRAMEWORK

## PURPOSE OF THE PLAN

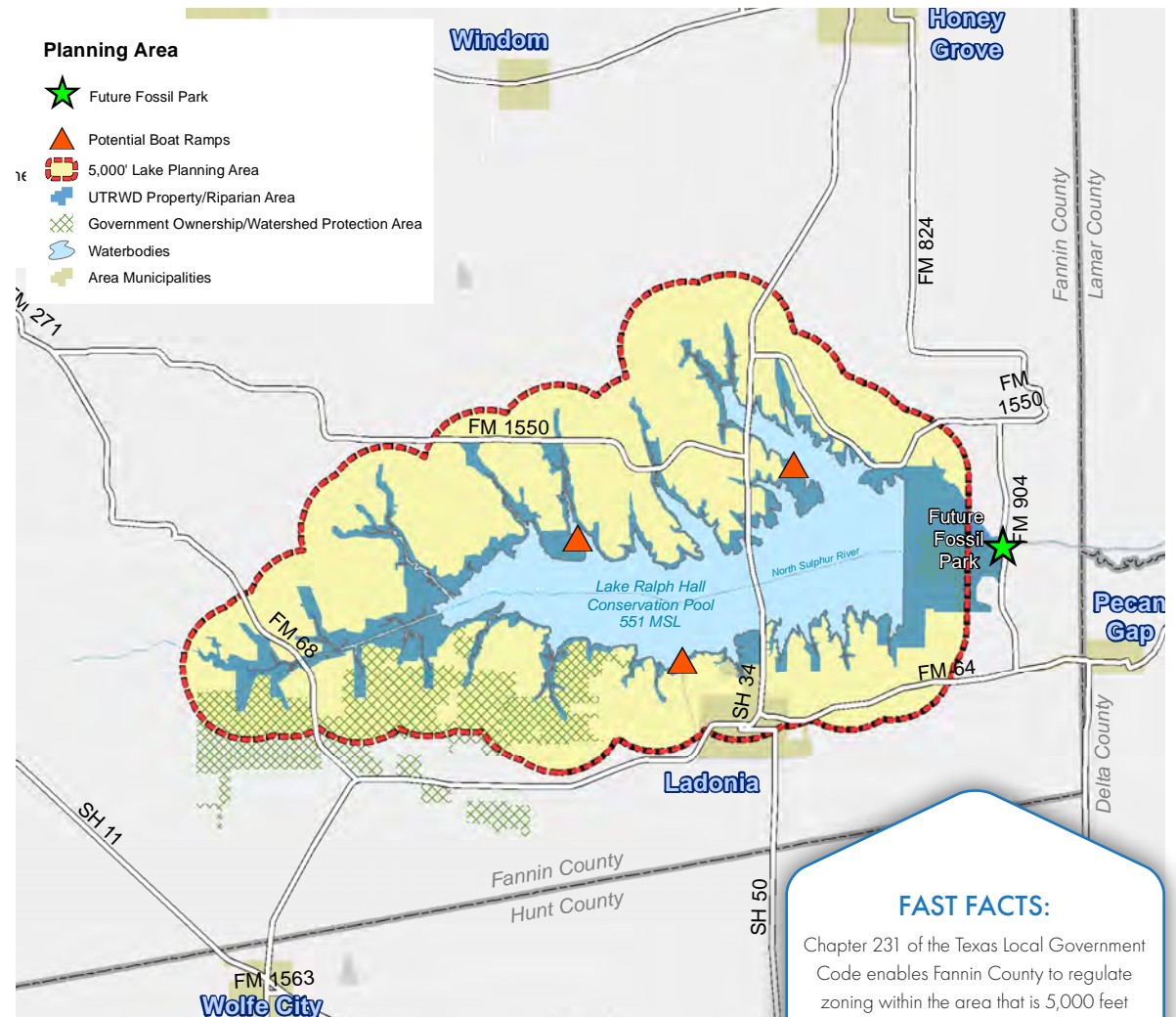
The purpose of the Comprehensive Plan is to establish a the planning framework for how the land around the lake should develop in the future. The content within this Plan will serve as a guide for County officials and residents for development-related decisions such as roads, land uses, and parks. The Plan will also guide the development of the zoning ordinance, which is how much of the Plan’s vision will be implemented. The Comprehensive Plan is an opportunity for Fannin County to enhance the quality of life for existing and future residents and boost the local economy by supporting regional growth. Lake Ralph Hall is the second lake reservoir in Fannin County. Lower Bois d’ Arc Reservoir was the first lake reservoir constructed in Fannin County in 2021.

## STATUTORY AUTHORITY

Authority of certain counties in Texas to create a Comprehensive Plan is granted by Chapter 231 of the Texas Local Government Code. Chapter 231 also outlines the legal requirements for zoning regulations to be enacted around certain lakes and reservoirs in Texas.

## PLANNING AREA

Lake Ralph Hall will be located on the North Sulphur River near Ladonia in Fannin County. The planning area for this Comprehensive Plan is the land that lies within a 5,000 foot buffer off the reservoir’s shoreline, which is 551 feet above mean sea level (AMSL). The planning area is shown in Map 2.



Map 2. Lake Ralph Hall Planning Area

**FAST FACTS:**  
Chapter 231 of the Texas Local Government Code enables Fannin County to regulate zoning within the area that is 5,000 feet from the shoreline of Lake Ralph Hall



## PREVIOUS PLANNING STUDIES

### *Texoma Regional Coordinated Transportation Plan (2017-2021)*

This report was written by the Texas A&M Transportation Institute on behalf of the Texoma Council of Governments (TCOG). The TCOG is a voluntary association of local governments in Cooke, Fannin, and Grayson Counties that works directly with citizens and local jurisdictions to improve and advance the economic vitality of life in Texoma. The Texoma region covers 2,698 square miles, including Cooke, Grayson, and Fannin Counties, as shown in Figure 2.

The purpose of the Texoma Regionally Coordinated Transportation Plan is to plan for a reliable, cost-effective, and efficient regional roadway network by utilizing existing transportation resources and identifying strategies

to combine and leverage shared resources. The report outlined that the most prominent transportation problem in the region was not enough public transit. The amount of land with sparsely populated towns presents a challenge to efficiently providing public transportation coverage. Also, the number of people age 65 and older and the number of people with disabilities is higher than the state average, which can present other issues with providing appropriate transportation services to meet the needs of the population.

The most common unmet needs were getting to/from medical appointments and daily-life activities such as the grocery store, pharmacy, and social activities. There are over 90 agencies providing transportation in some form in the Texoma region. Although the region lacks significant public transportation resources, there are ample opportunities for community-based organizations, churches, and school districts to utilize their excess

Figure 2. Texoma Region



Source: 2017-2021 Texoma Regional Coordinated Transportation Plan

The Texoma Region consisting of Cooke, Grayson, and Fannin Counties

capacity to provide additional transportation services in the region.

The vision for the Plan is that all citizens in the Texoma region will have access to safe, affordable, and reliable transportation. The five goals resulting from the Plan aim to improve equal access to public transportation in the region from 2017 to 2021.

The Plan's goals are to:

- » Improve coordination for transportation services,
- » Improve public awareness and knowledge of transportation services,
- » Increase access and connectivity both inside and outside of the region,
- » Expand transportation services and schedules, and
- » Consider funding needs for transportation services.

### ***Texoma Comprehensive Economic Development Strategy (2017-2022)***

The Texoma Comprehensive Economic Development Strategy (CEDS) is a regional plan created by the TCOG that is updated every five years to assist Cooke, Fannin, and Grayson Counties. The CEDS was prepared in 2017 to address planning efforts through 2022.

It is essential to consider the region's economic development strategy to potentially combine shared resources to address shared issues and achieve common goals. The plan resulted in three goals and nine objective statements, which function as action items to accomplish each goal.

Below is the Texoma Comprehensive Economic Development Strategy goals developed considering the information gathered through the Strengths, Weakness, Opportunities, and Challenges (SWOC) Assessment.

- » Goal 1 - Create a Vibrant Regional Identity,
- » Goal 2 - Create a Diverse Healthy Regional Economy, and
- » Goal 3 - Create a Resilient Economy.

## **TEXOMA CEDS**

### **Strengths, Weakness, Opportunities and Challenges Assessment**

The Texoma CEDS Committee conducted a strengths, weakness, opportunities, and challenges (SWOC) analysis with the Economic Development Corporations and business stakeholders across Texoma. The information gathered through this process informed the committee of the region's economic development needs and the assets and resources available to meet those needs. The SWOC analysis help formulate the goals, objectives, and actions for the Texoma CEDS.

#### **STRENGTHS**

- Proximity to a regional roadway network (IH 35, US 75, US 82) and proximity to Dallas and Oklahoma City.
- Affordable cost of living.
- Low taxes for individuals and businesses alike.

#### **WEAKNESSES**

- The region cannot attract living-wage jobs due to a low-skilled workforce, which is the leading cause of high poverty rates.
- The lack of housing, transportation, and healthcare services are three major threats to Texoma economic health.

#### **OPPORTUNITIES**

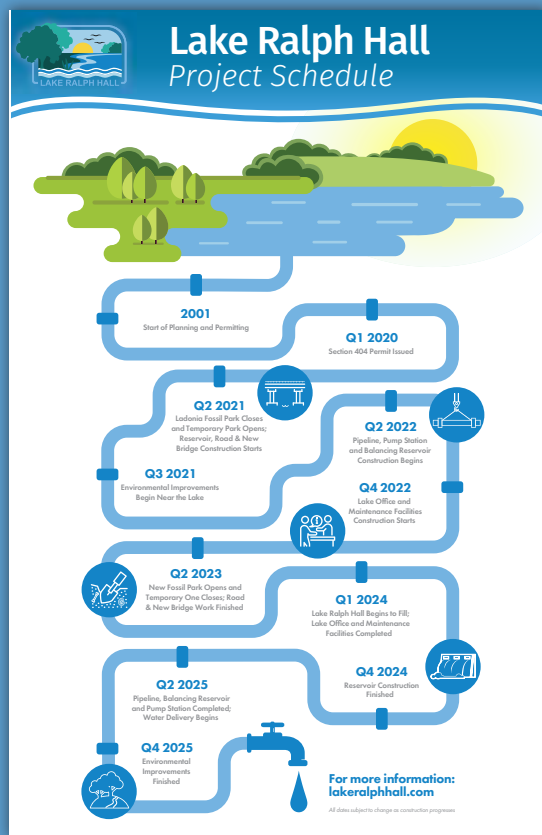
- Increase and leverage tourism in the area through wineries and craft breweries.
- Capitalize on downtown revitalization trend to attract more people who desire the lifestyle and amenities offered through local downtowns.

#### **CHALLENGES**

- Lack of government funding for soft infrastructure and social programs.
- Culturally competent economic development methods will need to be developed as the population of Texoma sees a dramatic increase in the Hispanic residents and a decline in Non-Hispanic Whites.

## LAKE RALPH HALL WEBSITE

UTRWD hosted a website for the Lake Ralph Hall project. The project website ([www.lakeralphhall.com](http://www.lakeralphhall.com)) offered information to the public about the project, project components and project schedule.



Source: Project Schedule for Lake Ralph Hall (retrieved October 2021) posted on [www.lakeralphhall.com](http://www.lakeralphhall.com).

## Lake Ralph Hall Environmental Impact Study (EIS)

In October 2006, UTRWD submitted an application to the United States Army Corps of Engineers (USACE) for a permit under Section 404 of the Clean Water Act (CWA) to discharge, dredge and fill material into waters of the United States to construct Lake Ralph Hall, including the construction of the dam, reservoir, and 32 miles of untreated water pipeline. The USACE determined that an EIS was required because the Lake Ralph Hall project constituted a major Federal action that could significantly affect the quality of the human environment. The USACE, Fort Worth District, Regulatory Division was the lead agency responsible for preparing the EIS. A Notice of Intent (NOI) for the Lake Ralph Hall EIS was published in the Federal Register on October 17, 2008 (Vol. 73, No. 2028, p. 61827-61828).

Although the USACE was the lead agency responsible for preparing the EIS, they were neither a proponent nor an opponent of issuing a permit for Lake Ralph Hall. The USACE used the findings of the EIS to render a final decision on the permit. The USACE also coordinated with other agencies with statutory authority over, or special expertise relative to, the proposed Lake Ralph Hall project, including the following agencies:

- » Environmental Protection Agency (EPA),
- » US Fish and Wildlife Service (USFWS),
- » US Forest Service (USFS),
- » Texas Commission on Environmental Quality (TCEQ),
- » Texas Parks and Wildlife Department (TPWD), and
- » Texas Historical Commission (THC).

The purpose of the EIS was to analyze the environmental impacts of the Lake Ralph Hall project. The primary major impacts of the proposed project were the conversion of land to a reservoir, impacts to streams and wetlands, impacts to paleontological resources, and changes in visual aesthetics. Primary minor impacts included impacts to the Caddo National Grasslands, noise, air quality, transportation, recreation, habitat, cultural resources, and socioeconomics. A detailed overview of project impacts (Chapter 4.0 of the EIS) and mitigation measures (Chapter 5.0 of the EIS) are in the "Final Environmental Impact Statement for the Lake Ralph Hall Regional Water Supply Reservoir Project (Volume I)." A Section 404 permit was issued in 2020.

### LAKE RALPH EIS:

Visit the link below to read the Lake Ralph Hall EIS:  
[www.swf.usace.army.mil/Missions/Regulatory/Permitting/Proposed-Lake-Ralph-Hall/](http://www.swf.usace.army.mil/Missions/Regulatory/Permitting/Proposed-Lake-Ralph-Hall/)

# DEMOGRAPHIC PROFILE

## HISTORICAL POPULATION AND GROWTH TRENDS

People are an essential component of any community. The following discussion is intended to provide insight into the historical and existing characteristics of Fannin County residents. This demographic analysis will aid in planning for the future growth of the County.

Fannin County experienced a decline in population from 1900 to 1970, with the most significant decline occurring in the 1950s as shown in Table 1. It was not until 1980 that the County saw an increase in population, with the most significant increases occurring during 1990-2000 (adding 6,438 persons) and 2000-2010 (adding 2,673 persons). Historically, Fannin County has grown at a much slower pace compared to Texas, as shown in Table 1.

Much of the County's growth can be attributed to the significant growth seen in the DFW region. Table 2 shows the compounding annual average growth rate (CAGR) for counties from 1980 to 2019. Grayson County (1.1 percent), Collin County (5.2 percent), and Hunt County (1.5 percent) experienced a greater CAGR than Fannin County. Most notably, Collin County experienced more than double the growth observed for the entire state of Texas (1.8 percent) from 1980 to 2019.

Table 1. Historical Population

Year	Fannin County			Texas		
	Population	# Change	% Change	Population	# Change	% Change
1900	51,793	-	-	3,048,710	-	-
1910	44,801	(6,992)	-13.5%	3,896,542	847,832	27.8%
1920	48,186	3,385	7.6%	4,663,228	766,686	19.7%
1930	41,163	(7,023)	-14.6%	5,824,715	1,161,487	24.9%
1940	41,064	(99)	-0.2%	6,414,824	590,109	10.1%
1950	31,253	(9,811)	-23.9%	7,711,194	1,296,370	20.2%
1960	23,880	(7,373)	-23.6%	9,579,677	1,868,483	24.2%
1970	22,705	(1,175)	-4.9%	11,196,730	1,617,053	16.9%
1980	24,285	1,580	7.0%	14,229,191	3,032,461	27.1%
1990	24,804	519	2.1%	16,986,510	2,757,319	19.4%
2000	31,242	6,438	26.0%	20,851,820	3,865,310	22.8%
2010	33,915	2,673	8.6%	25,145,561	4,293,741	20.6%
2019	35,514	1,599	4.7%	28,260,856	3,115,295	12.4%

Source: 1900-2010 US Census, 2019 ACS 5-Year Estimates

Table 2. Growth of Surrounding Counties

Year	Fannin County	Grayson County	Collin County	Hunt County	Lamar County	Texas
1980	24,285	89,796	144,490	55,248	42,156	14,229,191
1990	24,804	95,021	264,036	64,343	43,949	16,986,510
2000	31,242	110,595	491,675	76,596	48,499	20,851,820
2010	33,915	120,877	782,341	86,129	49,793	25,145,561
2019	35,514	136,212	1,034,730	98,594	49,611	28,260,856
Compound Annual Growth Rate	1.0%	1.1%	5.2%	1.5%	0.4%	1.8%

Source: 1980-2010 US Census, 2019 ACS 5-Year Estimates

## Regional Growth Affecting Fannin County

Figure 3 shows the population change by percent from 2010 to 2019 for regional counties. From 2010 to 2019, Fannin County experienced a 4.7 percent growth rate, while surrounding counties, such as Grayson, Collin, Hunt, and Bryan (Oklahoma), experienced growth rates of 10 percent or more during the same time frame.

Figure 4 shows the numeric population change from 2010 to 2019 for regional counties. In 2019, Fannin County added approximately 1,599 people since 2010. Surrounding Counties such as Grayson, Collin, Hunt, and Bryan (Oklahoma) added more than 5,000 people during the same time frame.

In 2019, the US Census Bureau ranked the Dallas-Fort Worth-Arlington metropolitan area as the fourth largest metropolitan area in the US. Additionally, it was ranked as the number one metropolitan area in the US, with the largest numeric growth from 2010 to 2019. Given the historical growth trend for surrounding counties and the region, Fannin County can anticipate a positive growth trend in the future.

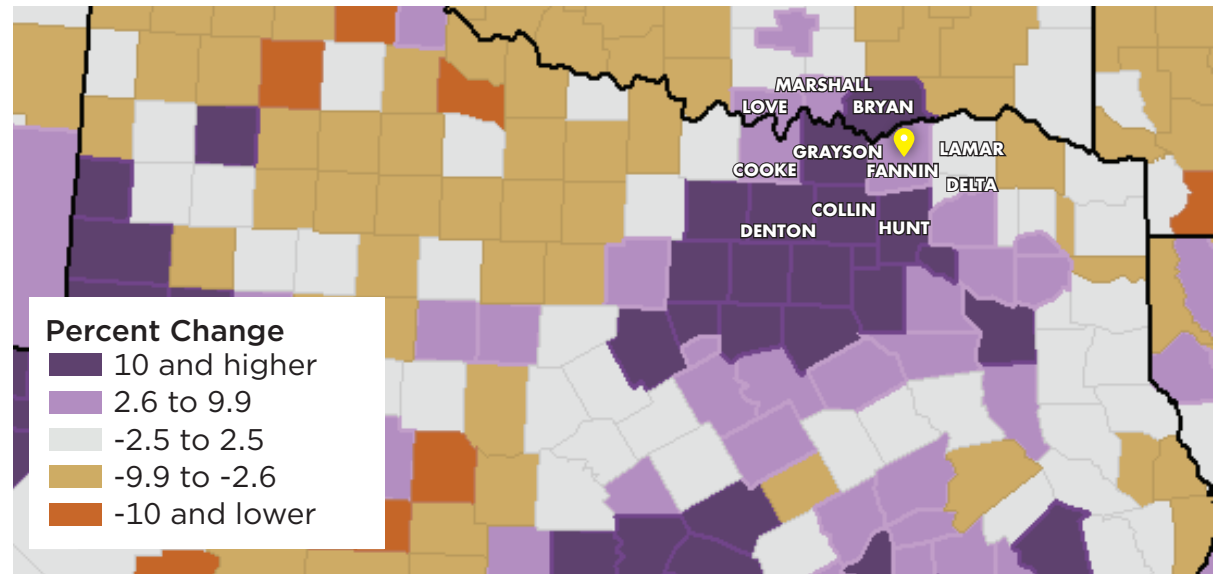
### FAST FACTS

According to the US Census Bureau, three of the top 10 counties in the nation with the largest population gains from 2010 to 2019 were in North Texas.

- #5 TARRANT
- #8 DALLAS
- #9 COLLIN

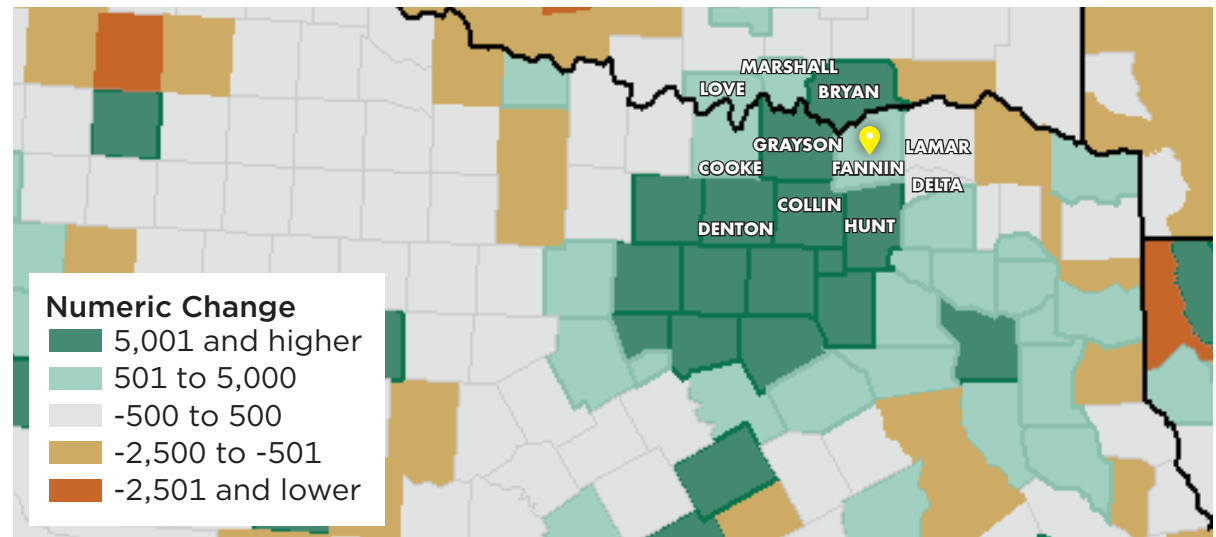
Source: US Census Bureau 2010-2019 Population Estimates

Figure 3. Percent Population Change by County (2010-2019)



Source: US Census Bureau 2010-2019 Population Estimates

Figure 4. Numeric Population Change by County (2010-2019)



Source: US Census Bureau 2010-2019 Population Estimates



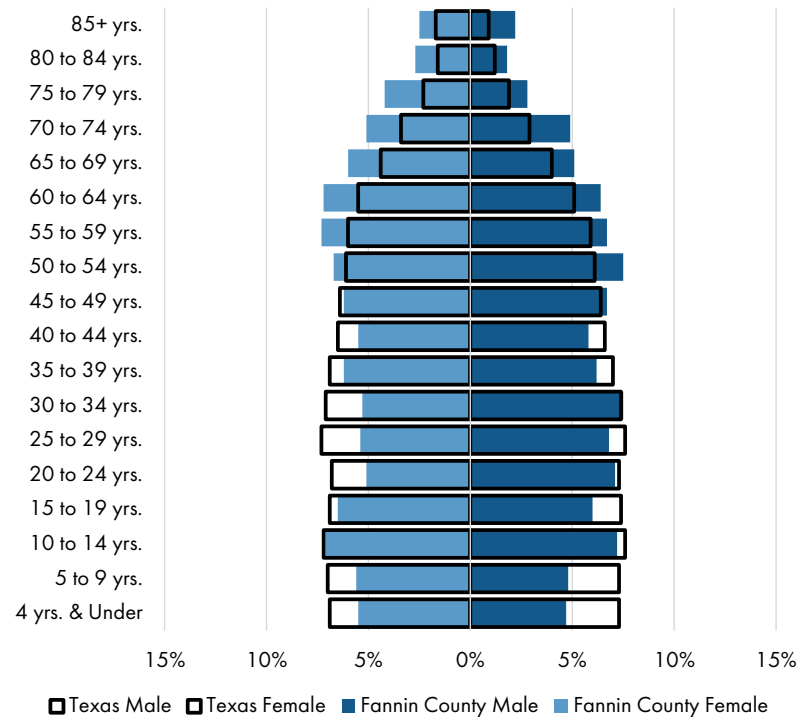
## AGE DISTRIBUTION

Analyzing the age composition within an area can provide insight into what services and facilities may be needed in the future. Awareness of these age distribution changes will ensure that the area surrounding Lake Ralph Hall meets the needs of the local age groups. The change in age composition for Fannin County for each age group from 2000 to 2019 is shown in Table 3.

Since 2010, there has been a decline in the following age groups: "Young Children (0 - 14 yrs.)", "High School (15-19 yrs.)", "Prime Labor Force (25 - 44 yrs.)", and "Older Labor Force (45-64 yrs.)". Growth was recorded for "College/New Family (20-24 yrs.)" and the "Seniors (65+ years)". This development in age distribution may indicate that Fannin County is trending toward an older population.

Figure 5 shows the age distribution for Fannin County in comparison to the state of Texas. Compared to the state, Fannin County has a much older population, predominantly from ages 55 to 85+ years.

Figure 5. Age Distribution



Source: 2019 ACS 5-Year Estimates

Table 3. Age Group Breakdown

Year	Young Children 0-14 yrs	High School 15-19 yrs.	College/New Family 20-24 yrs.	Prime Labor Force 25-44 yrs.	Older Labor Force 45-64 yrs.	Seniors 65+ yrs.
2000	19.0%	6.8%	6.3%	28.6%	23.2%	16.1%
2010	18.1%	6.5%	5.7%	24.9%	27.8%	17.0%
% Change	-0.9%	-0.3%	-0.6%	-3.7%	4.6%	0.9%
2010	18.1%	6.5%	5.7%	24.9%	27.8%	17.0%
2019	17.4%	6.2%	6.1%	24.5%	27.3%	18.5%
% Change	-0.7%	-0.3%	0.4%	-0.4%	-0.5%	1.5%

Source: 2000-2010 US Census, 2019 ACS 5-Year Estimates

# RACE AND ETHNICITY

Information regarding race and ethnicity is important to local governments to ensure that all citizens are represented in the decision-making process. Race is associated with biological factors like facial features or hair color, and ethnicity refers to cultural factors, such as language and traditions.

The largest racial group in Fannin County consists of people who identify as “White,” making up 87 percent of the total population, as shown in Table 4. The second-largest racial group is “Black or African American,” consisting of 6 percent of the population. Regarding ethnic compositions shown in Figure 6, approximately 11 percent of people consider themselves “Hispanic or Latino,” which is lower in comparison to the state of Texas, as shown in Figure 6.

Figure 6. Ethnicity Distribution



Table 4. Race and Ethnicity

	Fannin County	Texas
<b>Total Population</b>	<b>34,514</b>	<b>28,260,856</b>
One Race	97%	97%
White	87%	73%
Black or African American	6%	12%
American Indian and Alaska Native	1%	1%
Asian	1%	5%
Native Hawaiian and Other Pacific Islander	0%	0%
Some other Races	2%	6%
Two or More Races	3%	3%
Hispanic or Latino (of any race)	11%	39%
Not Hispanic or Latino	89%	61%

Source: 2019 ACS 5-Year Estimates

# EDUCATIONAL ATTAINMENT

Observing the educational level can indicate the degree of skills and abilities possessed by the community residents. This information is essential to analyze since it can help attract businesses and increase economic development opportunities.

Table 5 compares the educational attainment levels of the citizens (25 years of age and older) of Fannin County and Texas. Similar to other rural communities, Fannin County has a higher percentage of high school graduates as the highest level of education achieved than the state of Texas, 35 percent and 25 percent respectively. When looking at higher education, approximately 17 percent of the Fannin County residents have received a bachelor’s degree or higher, which is lower than the state of Texas (30 percent).

Figure 7. Educational Attainment

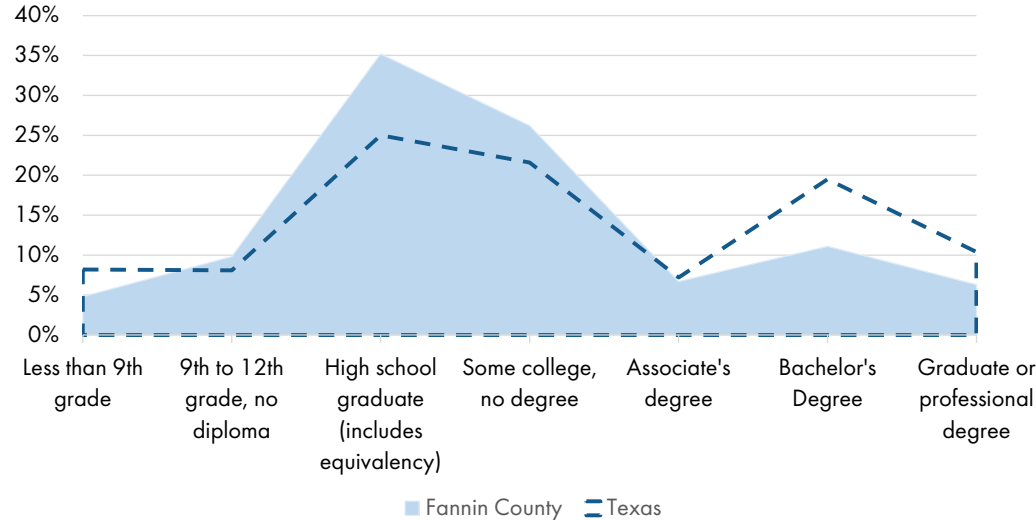


Table 5. Educational Attainment

Educational Attainment	Fannin County	Texas
Population 25 years and over	24,275	18,131,554
Less than 9th grade	5%	8%
9th to 12th grade, no diploma	10%	8%
High school graduate (includes equivalency)	35%	25%
Some college, no degree	26%	22%
Associate's degree	7%	7%
Bachelor's degree	11%	20%
Graduate or professional degree	6%	10%
Percent high school graduate or higher	86%	84%
Percent bachelor's degree or higher	17%	30%

Source: 2019 ACS 5-Year Estimates

## EMPLOYMENT AND OCCUPATION CHARACTERISTICS

Every job in the U.S. falls into one of five categories, as defined by both the U.S. Census Bureau and the Bureau of Labor Statistics. These categories are (1) Management, Business, Science, and Arts Occupations, (2) Service Occupations, (3) Sales and Office Occupations, (4) Natural Resources, Construction, and Maintenance Occupations, and (5) Production, Transportation, and Material Moving Occupations.

Workers within Fannin County are employed in a variety of different occupations as shown in Table 6. Residents who work in Production, Transportation, and Material Moving Occupations make up 15 percent of the population, while residents in Natural Resources, Construction, and Maintenance Occupations make up 14 percent. In addition, 15 percent work in Service Occupations while 22 percent are employed in Sales and office. Of the largest occupations of residents in Fannin County, 34 percent work in Management, Business, Science, and Arts Occupations. The unemployment rate in 2019 was 4 percent in Fannin County, which was less than the state of Texas (5 percent) and the U.S.

## INCOME LEVELS

Income is the gauge many use to determine the well-being of the U.S. population. The economic well-being of most Americans depends on their income or the income of family members. "Household income" is defined by the Census as income regularly received (exclusive of certain money receipts such as capital gains) before payments for personal income taxes, social security, union dues, Medicare deductions, etc. The 2019 household income for Fannin County and Texas is shown in Figure 8.

### 2019 UNEMPLOYMENT RATES

4%

Fannin County

5%

Texas

5%

US

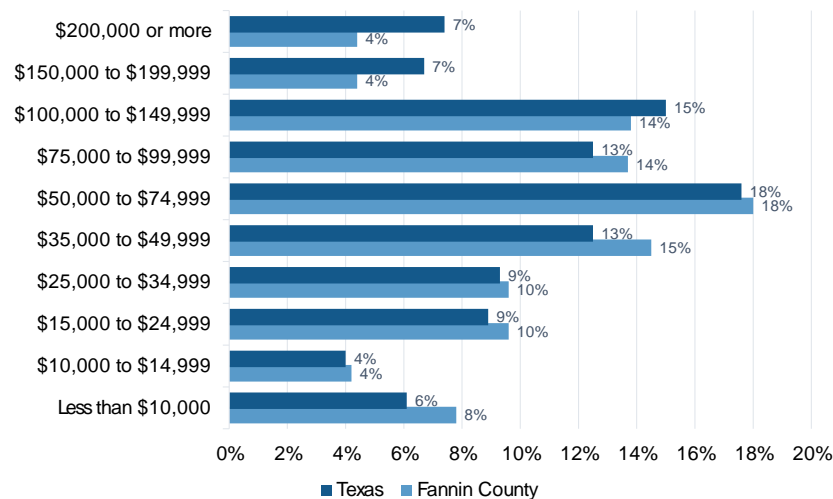
Source: U.S. Bureau of Labor Statistics

Table 6. Occupation

Occupation	Fannin County	Texas
Civilian Employed Ages 16 years and over	13,998	13,253,632
Management, Business, Science, and Arts Occupations	34%	37%
Service Occupations	15%	17%
Sales and Office Occupations	22%	22%
Natural Resources, Construction, and Maintenance Occupations	14%	11%
Production, Transportation, and Material Moving Occupations	15%	13%

Source: 2019 ACS 5-Year Estimates

Figure 8. Household Income Levels



Source: 2019 ACS 5-Year Estimates

2019  
Median  
Household  
income

\$54,648  
Fannin County

\$64,874  
Texas

Source: 2019 ACS  
5-Year Estimates

In 2019, the largest percentage of households (18 percent) in Fannin County had an income between \$50,000 to \$74,999, followed by 15 percent of households with an income between \$35,000 to \$49,999. Compared to Texas, the largest percentage of households in the state of Texas (18 percent) also had a household income between \$50,000 to \$74,999. However, the second-largest percentage of households (15 percent) had a household income between \$100,000 to \$149,999. The median household income for Fannin County in 2019 was \$54,648, which was less than the median household income for Texas (\$64,874).

## HOUSING OCCUPANCY

In 2019, there were approximately 14,464 housing units in Fannin County, of which 86 percent of housing units were occupied, and 14 percent were vacant. Of the total occupied housing units, 73 percent were owner-occupied compared to only 62 percent statewide.

## HOUSING VALUE

The largest percentage of owner-occupied housing units (24 percent) in Fannin County is valued at \$50,000 to \$99,999, followed by 17 percent of housing units valued between \$100,000 to \$149,999 or between \$200,000 to \$299,999. Based on the 2019 housing values, Fannin County generally has a lower housing value than Texas. The largest percentage of owner-occupied housing units (20 percent) in Texas are valued between \$200,000 to \$299,999, followed by 17 percent of housing units valued at \$50,000 to \$99,999. Additionally, the median housing value in 2019 was lower in Fannin County (\$123,100) than in Texas (\$172,500).

**Table 8. Housing Occupancy**

Housing Occupancy	Fannin County	Texas
Total Housing Units	14,464	10,937,026
Occupied Housing Units	86%	88%
Vacant Housing Units	14%	13%
Owner-occupied	73%	62%
Renter-occupied	27%	38%
Homeowner vacancy rate	1.2	1.6
Rental Vacancy Rate	4.5	7.8
Average Household Size of Owner-Occupied Unit	2.55	2.99
Average Household Size of Renter-Occupied Unit	2.45	2.63

Source: 2019 ACS 5-Year Estimates

**Table 7. Housing Value**

Home Value	Fannin County			Texas
	2000	2013	2019	2019
Owner-occupied units	4,936	8,813	9,117	6,004,802
Less than \$50,000	45%	23%	16%	9%
\$50,000 to \$99,999	41%	32%	24%	17%
\$100,000 to \$149,999	10%	18%	17%	16%
\$150,000 to \$199,999	3%	14%	13%	16%
\$200,000 to \$299,999	1%	8%	17%	20%
\$300,000 to \$499,999	0%	4%	9%	15%
\$500,000 to \$999,999	0%	2%	3%	6%
\$1,000,000 or more	0%	1%	1%	2%
Median Housing Value	\$54,500	\$92,600	\$123,100	\$172,500

Source: 2019 ACS 5-Year Estimates

# EXISTING CONDITIONS

## EXISTING LAND USE

Providing for the orderly and efficient use of land is a major planning consideration in developing Lake Ralph Hall. The land use pattern that exists today has seen slight variation over the years since the area has remained predominately undeveloped or Agricultural, Farm, and Ranch (91.6 percent). The relationships of existing and future land uses will shape the community's character and quality of life for many years to come. In order to accurately assess the area's future land use needs,

**Table 9. Existing Land Use Distribution**

Land Use	Acreage	Percentage
Agricultural, Farm, and Ranch	32,665	91.6%
Caddo Grasslands	1,772	5.0%
Right-of-Way	687	1.9%
Single Family	386	1.1%
Manufactured Homes	59	0.2%
Public/Semi-Public	54	0.2%
Commercial	13	0.0%
Parks and Open Space	12	0.0%
Industrial	5	0.0%
Retail	3	0.0%
Utility	1	0.0%
Two-Family (Duplex)	0.7	0.0%
Total Land Area within the "5,000 Lake Planning Area"	35,657	100.0%

Source: Freese and Nichols, Inc.

an analysis of present land use patterns is of primary importance. Growth and development occurring around the lake in the future will require converting a large amount of vacant open space and agricultural land into developed uses. The relationships of existing and future land uses will impact the area economically and shape the community's character and livability in the years to come.

### Existing Land Use Analysis

The existing land use pattern within the 5,000' Lake Planning Area is shown in Map 3. Table 9 shows the existing land use distribution for developed properties within the 5,000' Lake Planning Area. Since the lake does not currently exist, the existing land use distribution in Table 9 considers the land uses that currently exist before the lake is constructed. Undeveloped properties, consisting of natural and undisturbed land area, are categorized as Agricultural, Farm, and Ranch in Table 9.

It should also be noted that the UTRWD Property/Riparian Area and the Government Ownership/Watershed

**Table 10. UTRWD Property/Riparian Areas and Government Ownership/Watershed Protection Areas**

Land Use	Acreage	Percentage
UTRWD Property/Riparian Area	6,006	17.0%
Government Ownership/Watershed Protection Areas	3,524	10.0%

Source: Freese and Nichols, Inc.

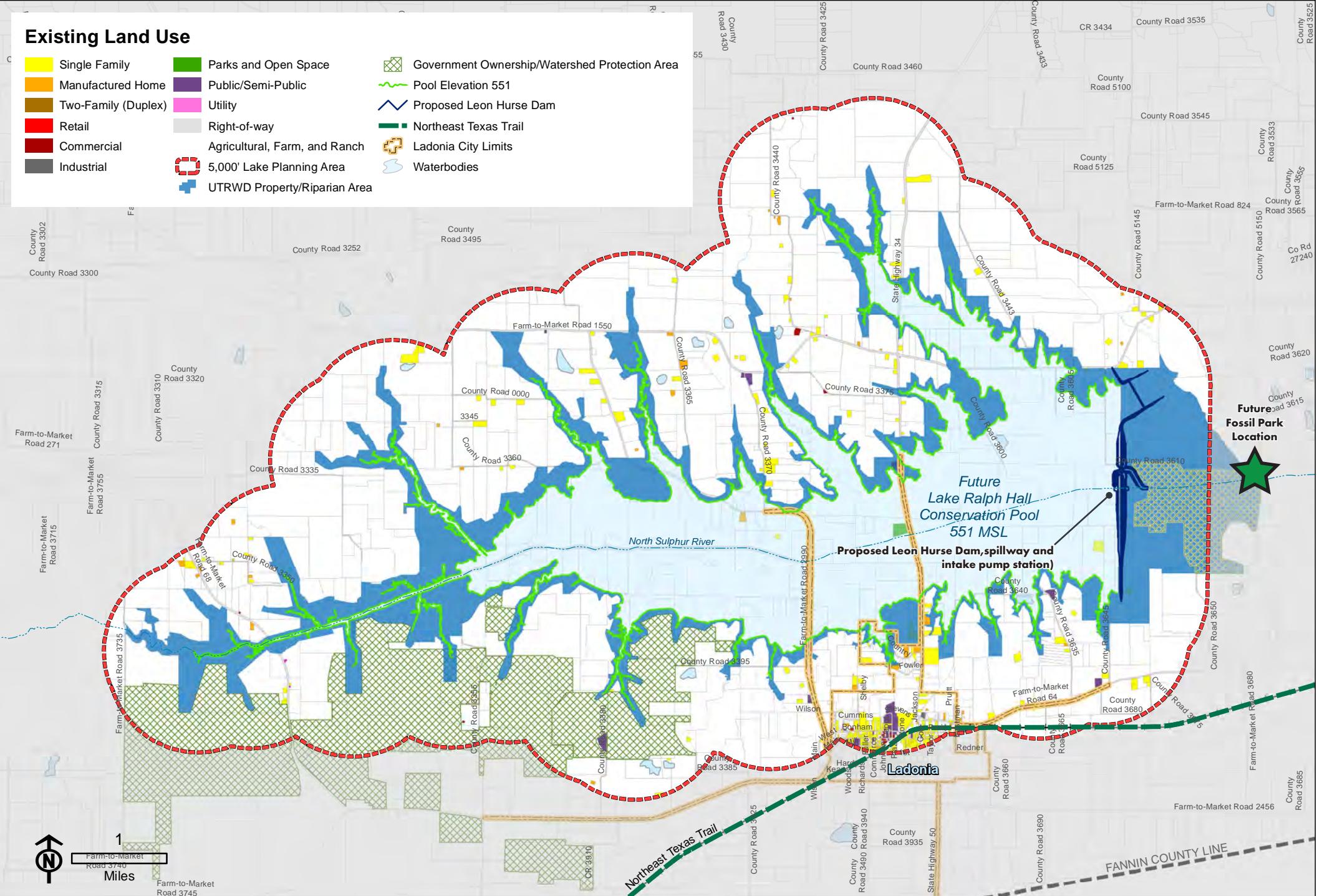
Watershed Protection areas are shown in Map 3, but are not considered in Table 9. These areas are not considered in the existing land use distribution table because they do not currently exist and will be constructed with the construction of Lake Ralph Hall. However, the size of these areas are shown in Table 10.

The area within the 5,000' Lake Planning Area is predominantly Agricultural, Farm, and Ranch (91.6 percent) with some residential uses consisting of Two-Family (<0.1 percent), Single Family (1.1 percent), and Manufactured Homes (0.2 percent). The majority of nonresidential uses are concentrated within the City of Ladonia, which is also situated with the lake planning area. Nonresidential uses include Commercial (12.5 percent), Industrial (5.3 percent), and Retail (<0.1 percent).

The land area considered under Parks and Open Space is the Ladonia Fossil Park (<0.1 percent), consisting of approximately 12 acres. The Fossil Park was formerly located on the bank of the river channel. However UTRWD, in coordination with the City of Ladonia, opened a temporary park location on FM 2990 to allow fossil enthusiasts to continue hunting fossils during the construction of the new reservoir. A new site is planned for the Fossil Park on the east side of Lake Ralph Hall. The Ladonia Fossil Park is a regional attraction that welcomes thousands of visitors each year who visit the park to hunt for fossils from the Cretaceous and Pleistocene periods. Public/semi-public uses (0.2 percent) are properties with either institutional or public facilities, including cemeteries, churches, schools, and municipal buildings.

# Existing Land Use

- Single Family
- Manufactured Home
- Two-Family (Duplex)
- Retail
- Commercial
- Industrial
- Parks and Open Space
- Public/Semi-Public
- Utility
- Right-of-way
- Agricultural, Farm, and Ranch
- 5,000' Lake Planning Area
- UTRWD Property/Riparian Area
- Government Ownership/Watershed Protection Area
- Pool Elevation 551
- Proposed Leon Hulse Dam
- Northeast Texas Trail
- Ladonia City Limits
- Waterbodies



Map 3. Existing Land Use Map



## Existing Residential Land Use Types

### Single Family

A single dwelling unit that is detached from any other dwelling unit, is built on-site, and is designed to be occupied by only one family. Single family homes are the more prevalent housing type and developed land use type.

### Two-Family

A structure with two attached dwelling units that is designed to be occupied by two families (one in each unit). Two-family units are also commonly referred to as duplex units.

### Manufactured Home

A manufactured home is a single family dwelling unit that is manufactured in a factory rather than on-site.

### Agricultural, Farm, and Ranch

Vacant land consists of raw land with no improvements or land used for agricultural purposes, such as a farm or a private ranch, and hunting. In some instances land classified under this category may have a farmhouse.

## Existing Nonresidential Land Use Types

### Commercial

Commercial establishments primarily provide a service to consumers. Examples include hotels, automobile service stations, automobile sales lots, and self-storage businesses.

### Industrial

Allows for the processing, storage, assembly, and/or repairing of materials. Uses range from light industrial with all activity occurring indoors, to heavy industrial with some activity occurring outside.

### Parks and Open Space

Public or private park land, open space, and/or recreation area that is outside. May include recreational facilities, such as tennis courts, public swimming pools, picnic pavilions, and basketball courts.

### Public/Semi-Public

Uses that are generally accessible to the public, such as schools, churches, public buildings, cemeteries, and some medical facilities.

### Government Ownership/Watershed Protection Area

This category consists of the Caddo Grasslands and land owned by UTRWD for watershed protection. The Caddo Grasslands is an open prairie and wooded land area administered by the U.S. Forest Service and managed by Texas Parks and Wildlife Department. The grassland is available year round to the public, and provides recreational activities such as camping, fishing, hiking, and hunting.





Single Family Home



Oak Ridge Cemetery near Ladonia



Ladonia Fossil Park



Commercial Uses in Downtown Ladonia



Agricultural, Farm, Ranch Land in Fannin County

## PHYSICAL FEATURES

Lake Ralph Hall has a rolling hillside topography. It ranges from approximately 525 feet at the lowest point (center of the Sulphur River Channel) to approximately 600 feet at the highest point on the shoreline (the edge of the lake). When the lake is 100 percent full, it will have a conservation pool storage capacity of approximately 160,235 acre-feet (at an elevation of 551 feet above mean sea level) and a surface area of approximately 7,568 acres. Erosion along the shoreline could impact the area's topography in the future. However, the impact is anticipated to be minor. Additionally, the UTRWD has purchased additional area beyond the 551-foot elevation (the UTRWD Property/Riparian Area) to ensure soil loss and erosion do not jeopardize surrounding development and water quality. The existing 100-year floodplain elevation of the North Sulphur River has been illustrated for reference.

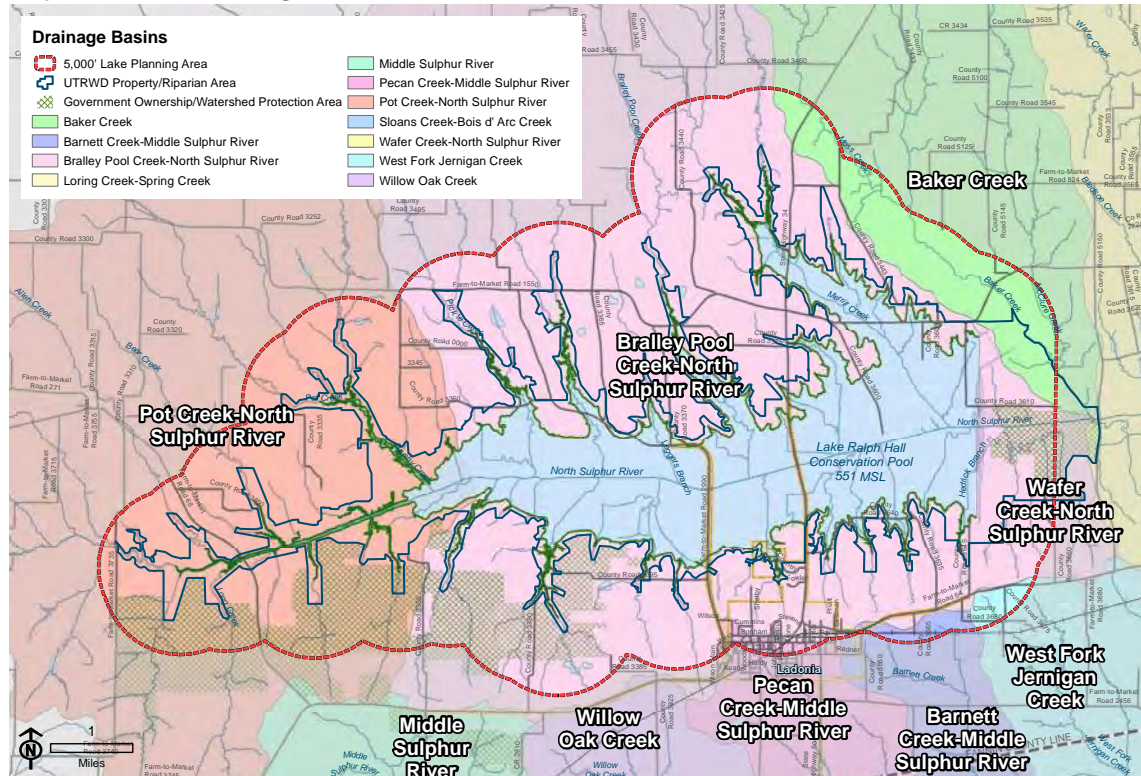


Photo of the North Sulphur River (August 2021)

















## DRAINAGE BASINS

Lake Ralph Hall is on the North Sulphur River in the Sulphur River Basin. The Sulphur River Basin is the drainage outlet and catchment area that collects all the surface and groundwater from precipitation, runoff, and the North Sulphur River and its tributaries. The major tributaries to the North Sulphur River include Allen Creek, Bear Creek, Pot Creek, Brushy Creek, Pickle Creek, Davis Creek, Legget Branch, Bralley Pool Creek, Merrill Hedrick Branch, Long Creek, Baker Creek, and McClure Creek. Map 4 shows the sub-basins within the Sulphur River Basin. The Sulphur River Basin is one of three basins in Fannin County including the Trinity River Basin and Red River Basin.

Map 4. Creek Drainage Basins

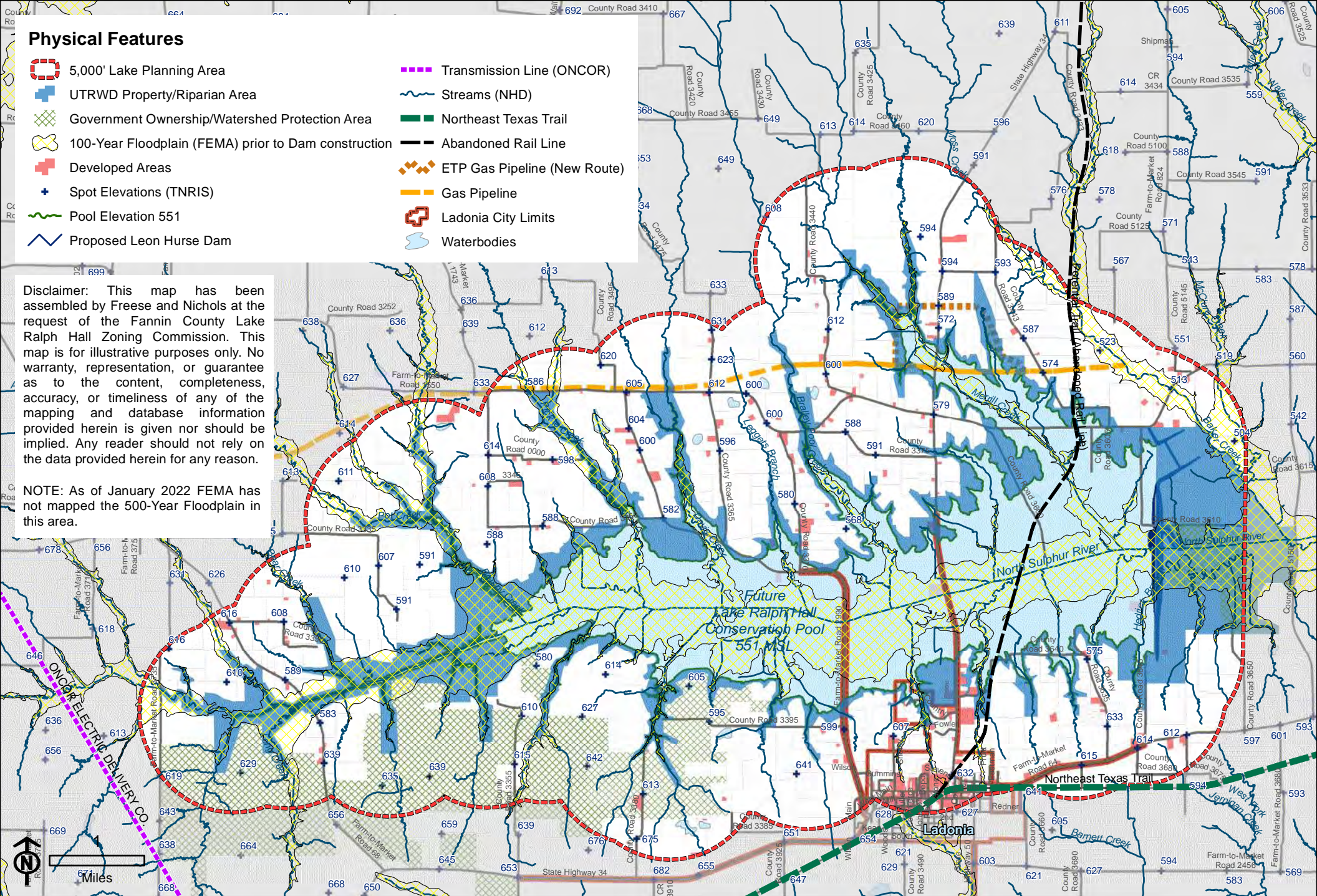


# Physical Features

-  5,000' Lake Planning Area
-  UTRWD Property/Riparian Area
-  Government Ownership/Watershed Protection Area
-  100-Year Floodplain (FEMA) prior to Dam construction
-  Developed Areas
-  Spot Elevations (TNRIS)
-  Pool Elevation 551
-  Proposed Leon Hulse Dam
-  Transmission Line (ONCOR)
-  Streams (NHD)
-  Northeast Texas Trail
-  Abandoned Rail Line
-  ETP Gas Pipeline (New Route)
-  Gas Pipeline
-  Ladonia City Limits
-  Waterbodies

**Disclaimer:** This map has been assembled by Freese and Nichols at the request of the Fannin County Lake Ralph Hall Zoning Commission. This map is for illustrative purposes only. No warranty, representation, or guarantee as to the content, completeness, accuracy, or timeliness of any of the mapping and database information provided herein is given nor should be implied. Any reader should not rely on the data provided herein for any reason.

**NOTE:** As of January 2022 FEMA has not mapped the 500-Year Floodplain in this area.



Map 5. Physical Features

Source: Freese and Nichols, Inc. Projections

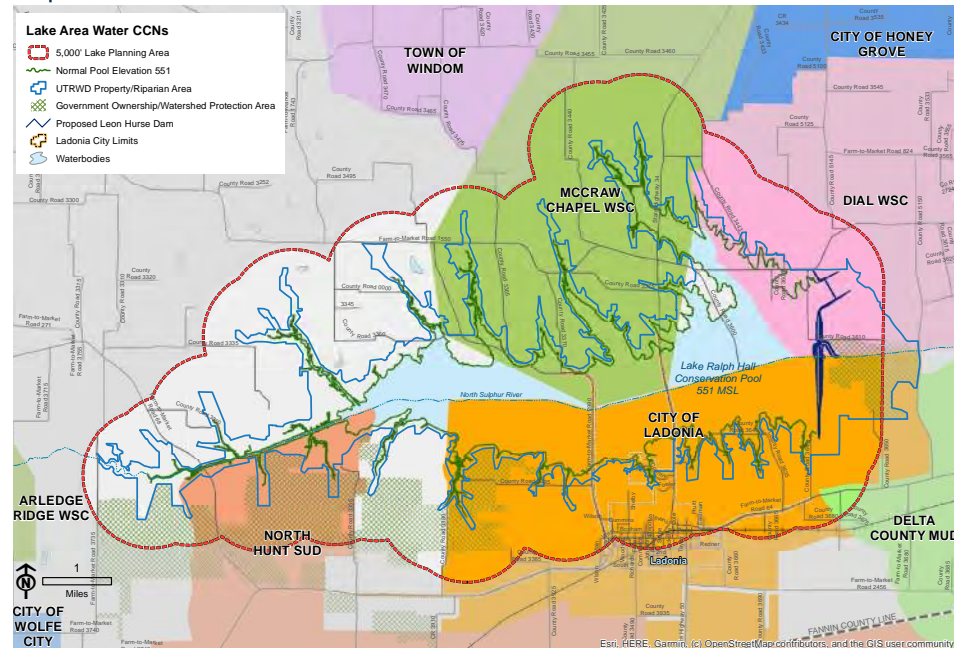
## WATER AND WASTEWATER CCNs

A Certificate of Convenience and Necessity (CCN) grants a CCN holder the exclusive right to provide retail water or sewer utility service to an identified geographic area. Chapter 13 of the Texas Water Code requires a CCN holder to provide continuous and adequate service to the area within its CCN boundary. Municipalities and special utility districts are not required to have a CCN to serve in areas that are not already being lawfully served by another retail public utility; however, some municipalities and special utility districts choose to obtain a CCN to protect their service area from encroachment. A district may not provide retail water or sewer service within the CCN service area of a retail public utility or within the boundaries of another district without the retail public utility's or district's consent, unless the district has a CCN to provide retail water or sewer utility service to that area. Similarly, a municipality may not provide retail water or sewer service within the CCN service area of a retail public utility unless the municipality has a CCN to provide retail water or sewer utility service to that area. Due to the construction of Lake Ralph Hall water and wastewater providers should plan to modify their service areas since they will be impacted by the construction of Lake Ralph Hall.

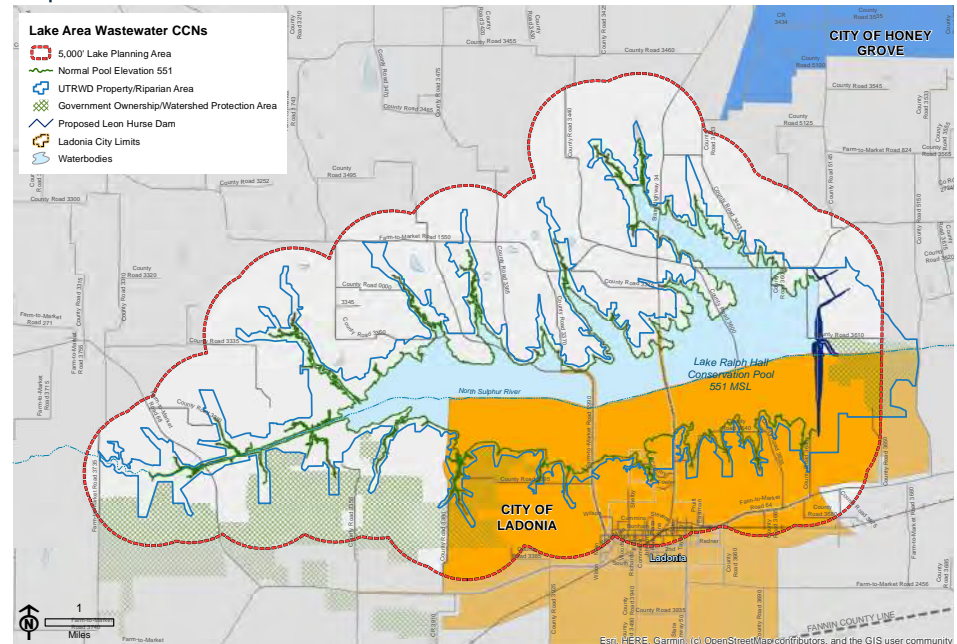
Map 6 and Map 7 show water and wastewater CCN holders within the 5,000' Lake Planning Area. Water CCN holders include McGraw Chapel Water Supply Corporation (WSC), the City of Ladonia, Dial WSC and the North Hunt Special Utility District. Wastewater CCN holders within the 5,000' lake planning area include only the City of Ladonia.

Map 6 shows a lack of water services on the western portion of the 5,000' Lake Planning Area, which can delay development in this area in the future. Similarly, Map 7 shows a lack of wastewater services for the majority of 5,000' Lake Planning Area, requiring the use of alternative wastewater services in the future, such as an on-site sewage facility system, until a public sewer system is available.

Map 6. Water CCNs



Map 7. Wastewater CCNs



## IMPACT ON PUBLIC SERVICES

The Lake Ralph Hall EIS (Section 4.17) provides a comprehensive fiscal impact of the construction of Lake Ralph Hall on public facilities and services, such as emergency services, health services, and schools. The comprehensive summary considers temporary impacts related to lake construction and other indirect impacts such as future commercial and residential development influenced by the presence of the lake and its associated amenities.

In summary, the fiscal impacts of Lake Ralph Hall are twofold; there would be losses in both sales and property tax revenue from the inundation of the land but gains from increased spending due to construction and land development. The losses in sales tax revenue would be minor and would be outweighed by the gains. The losses in property tax revenue would similarly be minor. The UTRWD is constructing public improvements that will facilitate development in the Lake Planning Area. Future commercial and residential development will offset

the loss and increase the County's long-term property tax revenue. Since the construction of Lake Ralph Hall will encourage growth, the County should use the data collected in this Plan as a benchmark and begin monitoring long-term population growth to assess the adequacy and availability of public services in the future. Additionally, in order to help address the anticipated tax revenue losses due to the creation of the lake, UTRWD has executed an agreement with Fannin County to make payments to various taxing entities to support public safety and other public services, such as schools.

### ***Sheriff Services***

The responsible law enforcement authority for the Lake Planning Area for Lake Ralph Hall is the Fannin County's Sheriff's Department, which serves about 35,000 people in unincorporated Fannin County and small municipalities in the county, including Ladonia. The Sheriff's Department employs 20 sworn officers, seven dispatchers, and two administrative workers.

In January 2016, the Department responded to about 1,000 calls, typical for any given month. The Department provides dispatch services for the entire County, including calls that are relayed to other municipalities, emergency medical services (EMS), and fire departments. The Department has 11 marked vehicles and five unmarked vehicles.

### ***Fire Services***

Fire services to the Lake Planning Area for Lake Ralph Hall is primarily served by the Ladonia volunteer fire department (south of Farm Road 1550) and the Honey Grove volunteer fire department (north of Farm Road 1550). The only paid fire department in Fannin County is the Bonham Fire Department, which serves the City of Bonham and parts of rural Fannin County (including Lake Ralph Hall) across about 100 square miles, serving more than 35,000 residents. The Department provides emergency medical services, firefighting, vehicle rescue, and search and rescue services.



Ladonia Volunteer Fire Department

## Public Educational Services

Four schools districts (Dodd City, Honey Grove ISD, Bonham ISD, and Fannindel ISD) are located in the Lake Planning Area for Lake Ralph Hall. School districts should benefit from the construction of Lake Ralph Hall by the property tax revenues generated by future residential development. A proportionate increase in student population will not accompany this gain in school district revenue because most valuations will come from weekend and vacation residences. The following describes each of the four school districts.

### Fannindel Independent School District

The Fannindel Independent School District (FISD) serves the City of Ladonia, Pecan Gap, northeast Hunt County and a small area of Lamar County. Fannindel High School is located in Ladonia and serves grades six through twelve. Pre-K to grade five students attend Fannindel Elementary School in Pecan Gap. In 2014, total enrollment at Fannindel ISD was 200, with an average class size of about 10 students.

### Dodd City Independent School District

Dodd City ISD serves an area northwest of the proposed lake site. The District has one K-12 school serving the 400 person community and surrounding area. The District had about 30 teachers and 20 support staff and enrollment of 360 in 2014. The average student teacher ratio was about 12.

### Honey Grove Independent School District

Honey Grove ISD provides services in the area directly to the north of the Lake Ralph Hall site. The District has one elementary school, a middle school and high school that serve almost 600 students with about 44 teachers, for an average class size of about 13 students.

### Bonham Independent School District

Bonham ISD serves an area to the east and northeast of the proposed lake site. The district has one high school, one middle school, two elementary schools, as well an alternative education center. Total enrollment in the District is about 2,000, with about 13 students for every full-time equivalent teacher.

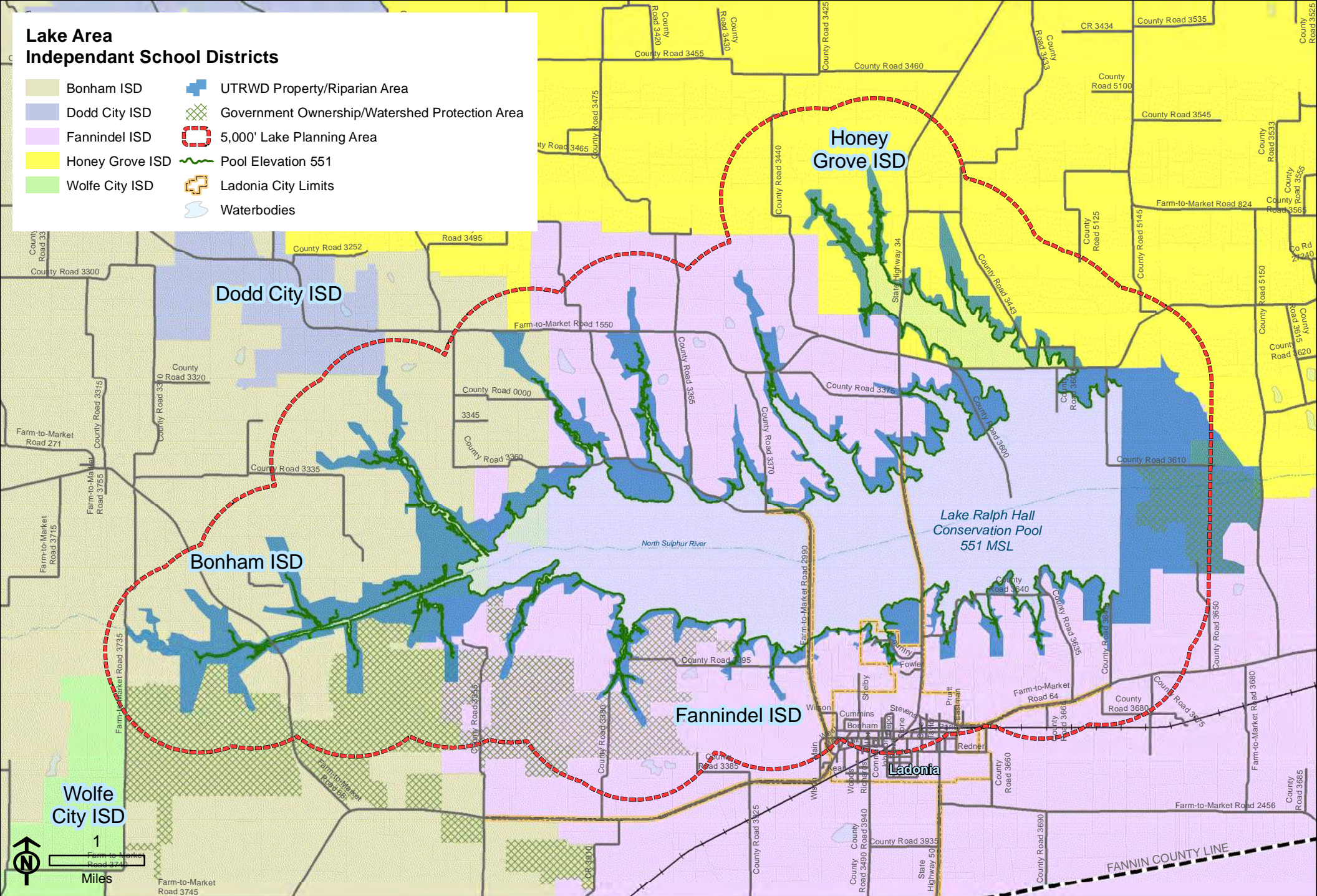
#### FAST FACTS:

In order to help address the anticipated tax revenue losses due to the creation of the lake, UTRWD has made payments to various taxing entities to support public safety and other public services, such as schools.



## Lake Area Independent School Districts

- Bonham ISD
- Dodd City ISD
- Fannindel ISD
- Honey Grove ISD
- Wolfe City ISD
- UTRWD Property/Riparian Area
- Government Ownership/Watershed Protection Area
- 5,000' Lake Planning Area
- Pool Elevation 551
- Ladonia City Limits
- Waterbodies



Map 8. Independent School Districts





## CEMETERIES

Cemeteries within and outside the planning area boundary are shown in Map 11. The Historic Resources Survey conducted as part of the Lake Ralph Hall EIS identified the presence of six historic-age cemeteries within the lake planning area, which are registered in the THC Historic Site Atlas. These cemeteries are listed below.

- » New Harmony Cemetery (THC # FN-C004)
- » Pleasant Grove Cemetery (THC # FN-C234)
- » Merrill Cemetery (THC # FN-C007)
- » McFarland Cemetery (THC # FN-C008)
- » Oak Ridge Cemetery (THC # FN-C212)
- » Willow Grove Cemetery (THC # FN-C010)

## PARCEL SIZE ANALYSIS

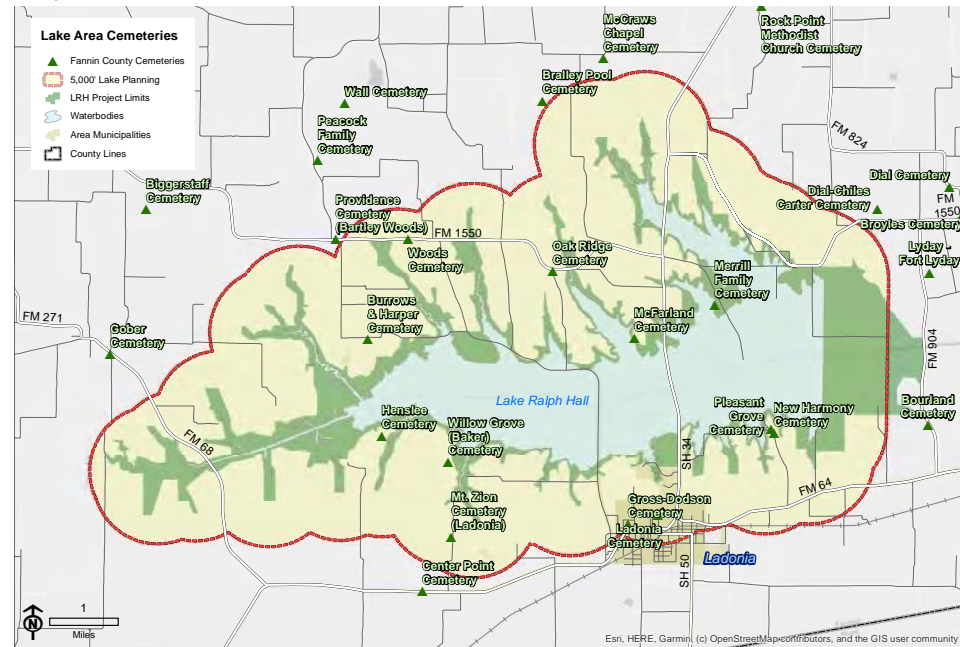
Map 12 shows the parcel size distribution within the Lake Planning Area. The table below considers the properties within the proposed Lake Ralph Hall. Since the Lake Planning Area is predominantly undeveloped, most property parcels are larger than 30 acres (83.4 percent). The second-largest amount of properties range from 10 to 30 acres (11.3 percent). Properties less than 10 acres make up approximately 3.3 percent of the total Lake Planning Area.

Table 11. Parcel Size Distribution

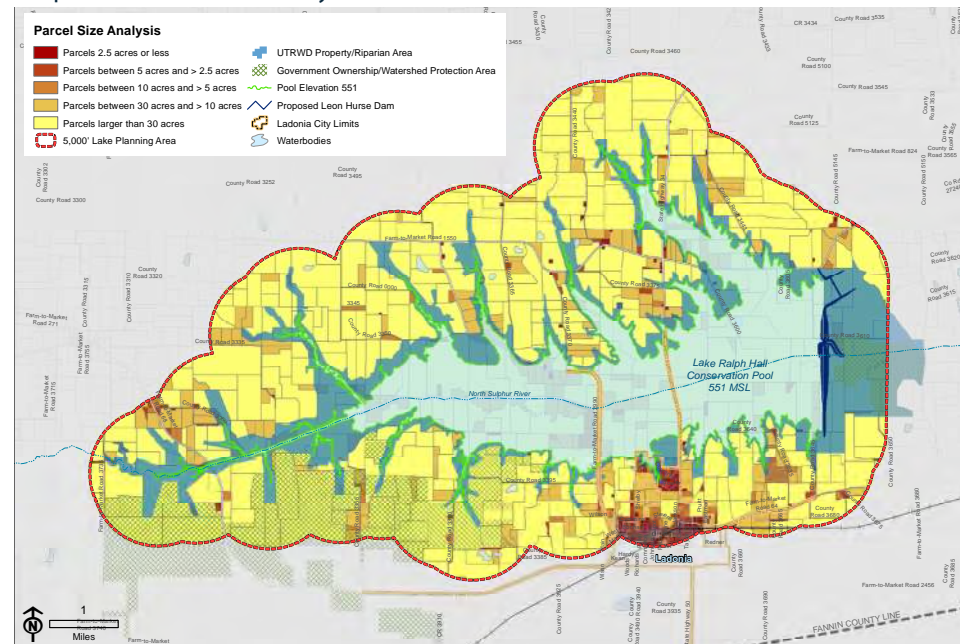
Lot Size	Acreage	Percentage
Parcels larger than 30 acres	29,726	83.4%
Parcels between 30 acres and > 10 acres	4,042	11.3%
Parcels between 10 acres and > 5 acres	618	1.7%
Parcels between 5 acres and > 2.5 acres	250	0.7%
Parcels 2.5 acres or less	334	0.9%
Public Right-of-Way	687	1.9%

Source: Freese and Nichols, Inc.

Map 11. Cemeteries



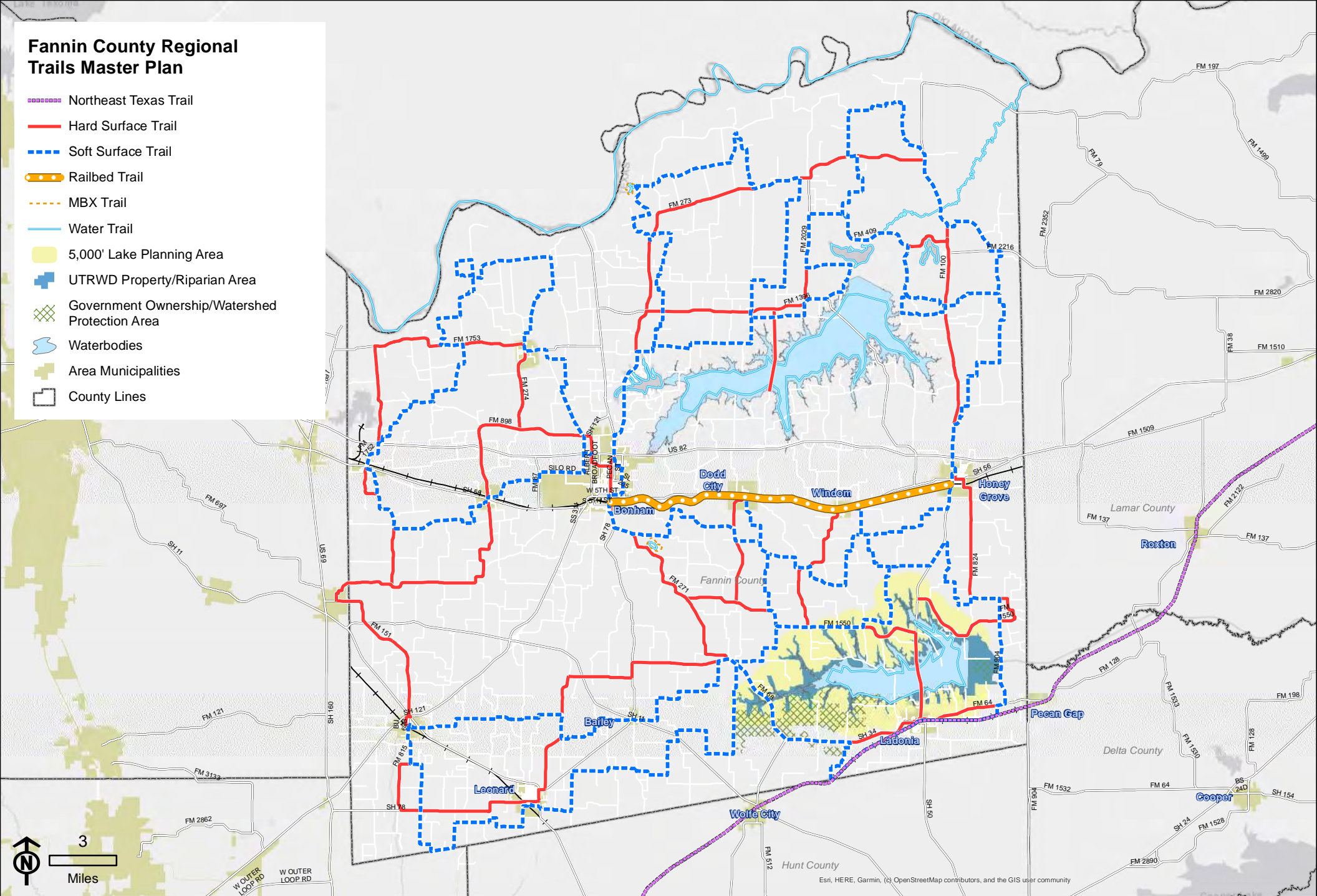
Map 12. Parcel Size Analysis





# Fannin County Regional Trails Master Plan

- Northeast Texas Trail
- Hard Surface Trail
- - - - - Soft Surface Trail
- Railbed Trail
- - - - - MBX Trail
- Water Trail
- 5,000' Lake Planning Area
- + UTRWD Property/Riparian Area
- Government Ownership/Watershed Protection Area
- Waterbodies
- Area Municipalities
- County Lines



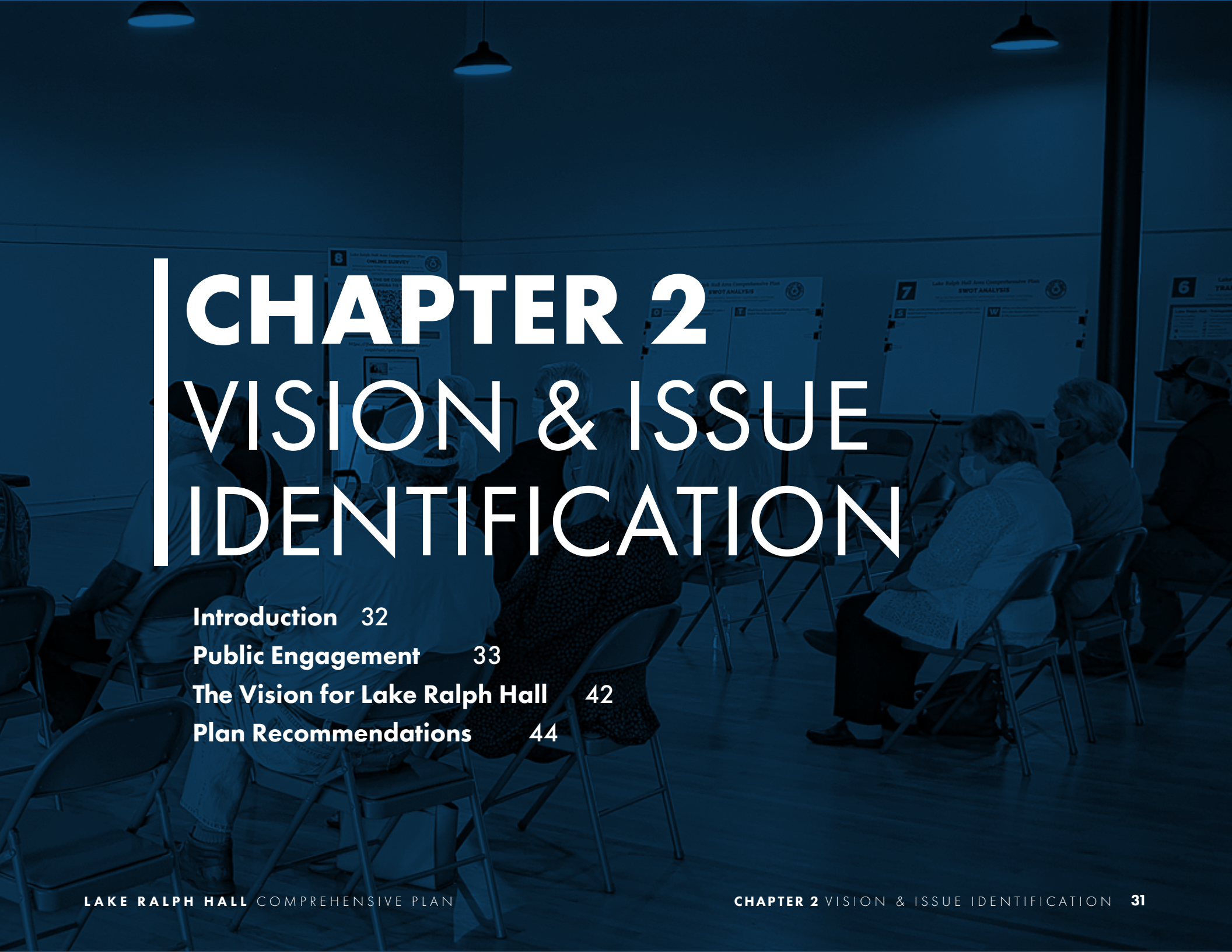
Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community

Map 15. Fannin County Regional Trails Master Plan

Source: Fannin County Equestrian Trails Association (FETA)

## Existing Thoroughfares



A public meeting or community engagement session. Several people are seated at tables, looking at informational displays or documents. The room is dimly lit with blue overhead lights. The displays in the background are titled "Lake Ralph Hall Area Comprehensive Plan" and include sections like "ONLINE SURVEY" and "SWOT ANALYSIS".

# CHAPTER 2

# VISION & ISSUE IDENTIFICATION

<b>Introduction</b>	<b>32</b>
<b>Public Engagement</b>	<b>33</b>
<b>The Vision for Lake Ralph Hall</b>	<b>42</b>
<b>Plan Recommendations</b>	<b>44</b>



# PUBLIC ENGAGEMENT

## THE PUBLIC INPUT PROCESS

The following meetings and survey were held to gather the public's input in the Lake Ralph Hall Comprehensive Plan. The issues and needs identified during the public engagement process helped identify the priorities of the community to form the overall vision for Lake Ralph Hall.

- » Meeting No. 1 | Commissioners Court Kick-Off Mtg. - June 8, 2021
- » Meeting No. 2 | Lake Zoning Commission Kick-Off Mtg. - July 29, 2021
- » Meeting No. 3 | Stakeholder Interviews - August 20, 2021
- » Meeting No. 4 | Public Open House - September 14, 2021
- » Online Public Survey | August - September 2021
- » Meeting No. 5 | Lake Zoning Commission Mtg. - March 7, 2022
- » Meeting No. 6 | Lake Zoning Commission Mtg. - April 8, 2022
- » Meeting No. 7 | Lake Zoning Commission Mtg. - June 23, 2022
- » Meeting No. 8 | Commissioners Court Update Mtg. - July 26, 2022
- » Meeting No. 9 | Public Open House & Lake Zoning Commission Mtg. - August 25, 2022
- » Meeting No. 10 | Commissioners Court Mtg. - October 11, 2022

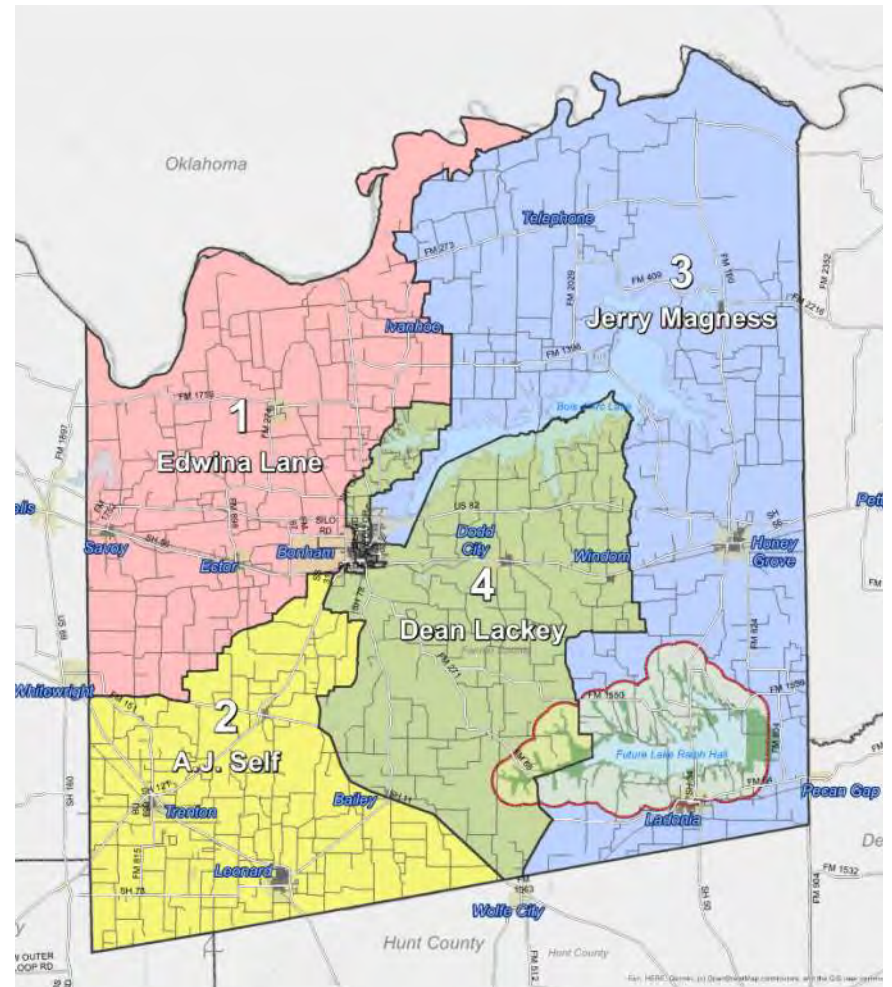


Figure 9. Fannin County Commissioner Precincts



### **Meeting No. 1 | Commissioners Court Kick-Off Mtg.**

**Date:** June 8, 2021

**Location:** Bonham City Hall

**Attendance:** Fannin County Commissioners and 10+ community members

**Purpose:** To kick-off the project, explain the purpose of the Comprehensive Plan, and discuss appointment of the Lake Zoning Commissioners.

**Summary:** The consultant team started the meeting with a presentation stating the purpose of the Comprehensive Plan, the project timeline, the role of the County Commissioners in the project, and the next steps to begin the comprehensive planning process. The presentation concluded with a discussion of the county commissioner's opinion on current issues and their vision for development around the lake.

Issues mentioned by the Commissioners Court were:

- » Concerns regarding RV Parks,
- » Undesirable lakes in DFW,
- » Concerns on the increase of land values and other indirect consequences resulting from the construction of the lake,
- » Concerns on the impact of the lake on public services, and
- » Suggestions to coordinate with the Lake Bois d' Arc Zoning Commission to gather feedback on the lessons learned during the construction of the Lower Bois d' Arc Creek Reservoir.

### **Meeting No. 2 | Lake Zoning Commission Kick-Off Mtg.**

**Date:** July 29, 2021

**Location:** Bonham City Hall

**Attendance:** Lake Zoning Commissioners and 15+ community members

**Purpose:** To kick-off the project, explain the planning process, and obtain general input about the overall vision for the lake.

**Summary:** The consultant team started the meeting with a presentation stating the purpose of the Comprehensive Plan, the project timeline, the role of the Lake Zoning Commissioners in the project, and concluded with a Strengths, Weaknesses, Opportunity, and Threats (SWOT) analysis for the Lake Planning Area. A summary of the SWOT analysis is provided in Figure 10.



Figure 10. Lake Zoning Commission Meeting SWOT Analysis



## Meeting No. 3 | Stakeholder Interviews

**Date:** August 20, 2021

**Location:** Ladonia City Hall

**Purpose:** To gain specific input on how the construction of the lake will affect various public agencies in Fannin County.

**Summary:** The consultant team interviewed various stakeholders to gather a comprehensive list of issues/impacts related to the lake's construction. Stakeholders included city officials from surrounding cities, law enforcement, emergency responders, and local organization leaders. The consultant team began the interview process with a brief overview of the planning process and the importance of planning for the future. The consultant team developed a broad set of questions to guide the discussion. The list of stakeholders and questions is on the right.

Overall, the majority of stakeholders supported the lake and viewed it as an asset to the County. Stakeholders identified the lake as an economic driver for the area if developed with quality development standards. Many suggested more orderly and cohesive development, especially for manufactured homes, RV parks, campgrounds, and boat docks. Everything should look consistent and regularly maintained to preserve the aesthetic quality of the lake. They did not want housing that encouraged a transient population. Additionally, the lake should encourage housing at different price points to accommodate both existing and future residents.

There were several concerns to protect the natural quality of the area by reducing the density of development around the shoreline. The lake is a natural recreational asset that can become a regional draw to make the County a destination. Several shared the same sentiment that future lake development should also reflect the interests and values of long-term residents.

Law enforcement, fire, and emergency responders expressed the need for more personnel to respond to safety and emergency service calls in the future. Currently, they are not able to get to service calls within an adequate response time. Water and wastewater service providers expressed the lack of water supply in the area to serve future service demands.

### Stakeholder Questions:

- » **Vision for the Lake:** The lake is a valuable resource to the County and attracts visitors from all over the region. What is best asset of the lake area? How should land around the lake be developed? What is your vision for the lake area?
- » **Your Organization:** How might your organization be influenced by additional development around the lake?
- » **Development Opportunities:** What uses should be promoted and what should be avoided around the lake? What should the lake offer residents and visitors?
- » **Example Lakes:** What lakes would be good examples or bad examples to follow?
- » **Additional Comments or Ideas:** Do you have any additional comments or ideas regarding the lake? What do you think needs to be considered during the comprehensive planning process?

### Stakeholder List:

- » Fannin County Commissioners
- » Lake Ralph Hall Zoning Commissioners
- » Mayor and City Officials from surrounding cities (e.g., Ladonia, Pecan Gap, and Honey Grove)
- » Ladonia Chamber of Commerce
- » Water and Wastewater Providers
- » Law Enforcement (e.g., Ladonia Police Chief, County Sheriff, County Constables)
- » Fire and Emergency Responders (e.g., County Emergency Management and Bonham Fire/EMS)
- » School Districts (Bonham ISD, Fannindel ISD, and Honey Grove ISD)
- » Fannin County Equestrian Trail Association
- » Fannin County Historical Commission
- » Ladonia Fossil Park

## Meeting No. 4 | Public Open House

**Date:** September 14, 2021

**Location:** The Public Open House was held in two locations on the same day. The first meeting was at Honey Grove Library from 10 am to 2 pm. The second meeting was at Ladonia City Hall from 3:30 pm to 7:30 pm. Meeting participants did not have to attend both meetings because the same information was presented at both locations.

**Purpose:** To meet with the public before the development of the Plan to gather input regarding the vision for Lake Ralph Hall and to identify any issues or needs.

**Summary:** The meeting format was the same for both locations. The consultant team conducted a 15-minute presentation every hour and set up self-guided input activities to gather the public's input on the following:

- » The design of commercial development
- » The type of recreational activities around the lake
- » Opportunities for lake and trail connectivity around the lake
- » The type of housing desired around the lake
- » The location or type of transportation improvements desired around the lake
- » The lake's strengths, weaknesses, opportunities and threats
- » The lack of water infrastructure in the Lake Planning Area

View the public input results in Appendix 22.



Lake Ralph Hall Open House at the Honey Grove Library (10 am-2 pm) on September 14, 2021

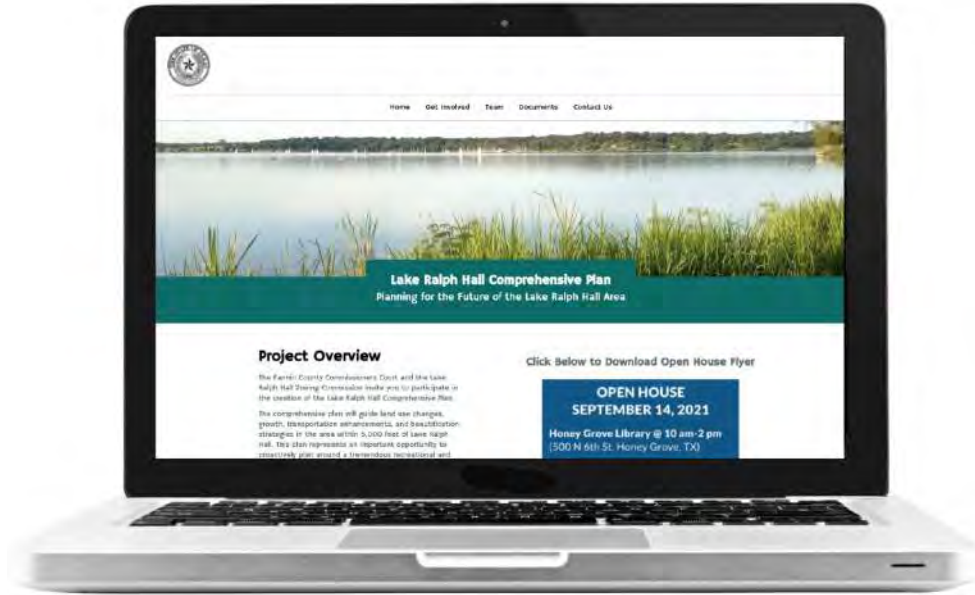


Lake Ralph Hall Open House in Ladonia City Hall (3:30 pm to 7:30 pm) on September 14, 2021

## Public Survey

The consultant created a project website to showcase upcoming meetings, project documents and to provide the public with an option to give their input in the Plan if they could not attend the in-person meetings.

From August to September 2021, the consultant team published a public survey to gather additional input on the community's vision for future development around the lake. Approximately 50 people participated in the public survey. View the survey results in Appendix 23.



Meeting participants providing input at the Lake Ralph Hall Open House in Ladonia City Hall (3:30 pm to 7:30 pm) on September 14, 2021

## Meeting No. 5 | Lake Zoning Commission Mtg.

**Date:** March 7, 2022

**Location:** Bonham City Hall

**Attendance:** Lake Zoning Commissioners, Bois d'Arc Lake Zoning Commissioners, and 10+ community members

**Purpose:** To review the first draft of the Lake Ralph Hall Comprehensive Plan and discuss feedback and edits.

**Summary:** The consultant team presented the first draft of the plan, including content related to each section of the document, the driving mission statement, and the proposed Future Land Use Map. The presentation concluded with a discussion of the Lake Ralph Hall Zoning Commissioners' likes and dislikes regarding the draft document.

Issues mentioned by the Lake Zoning Commissioners included:

- » Concerns with the proposed setbacks from the UTRWD Property/Riparian Area.
- » Concerns regarding private access opportunities, such as docks, to the lake being limited.
- » Concerns about limiting improvements and maintenance of the UTRWD Property/Riparian Area by adjacent property owners.
- » Suggestions to increase the allowable residential density along the lake.
- » Concerns about the conformity of existing uses and property around the lake following adoption of the Comprehensive Plan and subsequent Zoning Ordinance.

## Meeting No. 6 | Lake Zoning Commission Mtg.

**Date:** April 8, 2022

**Location:** Bonham City Hall

**Attendance:** Lake Zoning Commissioners and 10+ community members

**Purpose:** To review the first draft of the Lake Ralph Hall Comprehensive Plan and discuss feedback and edits.

**Summary:** The consultant team briefly presented a recap of the first draft of the plan, emphasizing the need for consensus on requested edits to the document. The presentation concluded with a discussion of the Lake Ralph Hall Zoning Commissioner's likes and dislikes regarding the draft document, with each commissioner speaking for approximately 2 - 5 minutes each. The public was also given the opportunity to express their concerns to the commissioners.

Issues mentioned by the Lake Zoning Commissioners included:

- » Concerns regarding implementing restrictions on existing private property owners.
- » Suggestions that the minimum lot size proposed within the Future Land Use Map be reduced to 1 acre, and that the Medium Density designation be increased around the lake front.
- » Concerns regarding the presence of Homeowners' Associations (HOA) around the lake.
- » Suggestions that connection to a centralized sanitary sewer system be required based on lot size, not lot count within a development.
- » Concerns about the vision statement, specifically the lack of focus on recreation and commercial development.

## **Meeting No. 7 | Lake Zoning Commission Mtg.**

**Date:** June 23, 2022

**Location:** Honey Grove Library

**Attendance:** Lake Zoning Commissioners and 50+ community members

**Purpose:** To review the second draft of the Lake Ralph Hall Comprehensive Plan and discuss feedback and edits.

**Summary:** The consultant team presented the second draft of the plan, highlighting the significant changes that were made following the March and April Lake Zoning Commission Meetings. The presentation concluded with a discussion of the Lake Ralph Hall Zoning Commissioner's likes and dislikes regarding the draft document. The public was also invited to express their concerns to the commissioners.

Remaining issues mentioned by the Lake Zoning Commissioners included:

- » Concerns with land trusts mentioned throughout the plan.
- » Concerns with the relationship between the UTRWD and Fannin County Vision Statements for the lake and surrounding area.

The Lake Zoning Commission ultimately reached a consensus on the proposed changes and recommended that the consultant team move forward with an update to the Commissioners Court.

## **Meeting No. 8 | Commissioners Court Update Mtg.**

**Date:** July 26, 2022

**Location:** Fannin County Courthouse

**Attendance:** Fannin County Commissioners, members of the Lake Zoning Commission, and 10+ community members

**Purpose:** To receive an update on the progress and status of the Lake Ralph Hall Comprehensive Plan.

**Summary:** The consultant team presented a brief overview of the project's history, discussed the content of the comprehensive plan, and provided a copy of the Future Land Use Map for the Commissioners Court review. The presentation ended with a discussion on the next steps for the project, which included confirming the date for a community open house and public hearing.

The Commissioners Court held an open dialogue regarding the state and contents of the plan document. Points of discussion included:

- » The regulation of boat ramps and docks along the lake's edge and the approval authority for such improvements.
- » The maintenance obligations of areas shown on the Future Land Use Map as Potential Public Access.
- » The lot size of the Medium Lot Residential land use category (minimum 0.5 acres). The Commissioners Court expressed interest in removing this category and identifying areas of higher-density homes based on infrastructure capability at a later time.

Although no action was taken on the Lake Ralph Hall Comprehensive Plan during this meeting, the Commissioners Court expressed comfort in holding a community open house and public hearing before the Lake Zoning Commission in August 2022.

## **Meeting No. 9 | Public Open House & Lake Zoning Commission Mtg.**

**Date:** August 25, 2022

**Location:** Honey Grove Library

**Attendance:** Lake Zoning Commissioners and 55+ community members

**Purpose:** To review the final draft of the Lake Ralph Hall Comprehensive Plan, discuss the plan with the public, and hold a public hearing before making a formal recommendation to the Fannin County Commissioners Court on the plan adoption.

**Summary:** The meeting opened with an informational board activity, where members of the public were encouraged to review details of the Lake Ralph Hall Comprehensive Plan and ask questions with the consultant team.

The consultant team then presented the final draft of the comprehensive plan to the Lake Zoning Commission. The presentation concluded with an open discussion amongst the commissioners. The remaining issues with the comprehensive plan mentioned by the Lake Zoning Commissioners included:

- » The Potential Public Access Area land use category on the northern shoreline of the lake, east of SH 34.
- » Designating the intersection of FM 1550 and County Road 3370 General Commercial on the Future Land Use Map.

Following the presentation, the Lake Zoning Commission held a public hearing where community members spoke about the draft plan. The meeting concluded with a unanimous recommendation of approval to the Fannin County Commissioners Court, with the condition that the remaining issues above be resolved before adoption.

## **Meeting No. 10 | Commissioners Court Mtg.**

**Date:** October 11, 2022

**Location:** Fannin County Courthouse

**Attendance:** Fannin County Commissioners, members of the Lake Zoning Commission, and 10+ community members

**Purpose:** To hold a public hearing and consider adoption of the Lake Ralph Hall Comprehensive Plan.

**Summary:** The consultant team presented the recommended final draft of the comprehensive plan, discussed the plan's content, and called out the requested changes made by the Lake Zoning Commission at their August 25, 2022, meeting.

Following the presentation, the Commissioners Court held a public hearing for community members to speak about the final draft. The meeting concluded with a unanimous vote to adopt the Lake Ralph Hall Comprehensive Plan as presented.

# THE VISION FOR LAKE RALPH HALL

## VISION AND GUIDING PRINCIPLES

The vision statement is the idea or concept that should ultimately be achieved within the Lake Ralph Hall area. In other words, the vision statement describes the destination or end result that the community wants the Lake Area to eventually become. The vision is supported by guiding principles representing the priorities of the County. The public input gathered during the “Public Engagement” was used to craft the vision statement and guiding principles.

UTRWD and Fannin County are joint partners in developing the lake and the communities around it. While UTRWD will be largely focused on the operations of Lake Ralph Hall, Fannin County and its residents will have influence over surrounding development. The following vision statements are intended to guide policy decisions by both partners within their areas of jurisdiction.



Historic Photo of the Sulphur River

### ***UTRWD’s Vision for the Lake Ralph Hall water and property***

In 2019, the UTRWD Board of Directors adopted a vision statement for the operations of Lake Ralph Hall. The UTRWD sought input from the City of Ladonia, the Board of Directors, the Water Supply Committee, and Texas Parks and Wildlife to develop the following vision statement. The following vision statement is intended to guide all decisions in regard to how Lake Ralph Hall, not the surrounding area, is constructed, operated, and maintained by UTRWD.

***“The enduring vision is for Lake Ralph Hall to be a special place (a natural place, a quiet place, a hospitable place) both for people and for the environment, assuring a reliable water supply for generations to come.”***

- Upper Trinity Regional Water District

### ***Fannin County’s Vision for the land around Lake Ralph Hall***

The natural qualities of the area make Lake Ralph Hall a special place for Fannin County residents. Through the public engagement process, residents expressed the importance of preserving the quality of the environment and their small-town way of life yet provide recreational, educational, and tourism opportunities so that the local economies can flourish.

Additionally, residents acknowledged the growth and local impact the lake would have on the area. Still, they did not want it to compromise the natural and peaceful atmosphere that attracted many to Fannin County. Many expressed the sentiment that future lake development should reflect the values and priorities of long-term Fannin County residents.

***“Lake Ralph Hall is an opportunity to create a vibrant place to live. Residents value their way of life, providing quality homes and neighborhoods for current and future generations, opportunities for personal and public recreation, and quality commercial development that compliments and improves the lake area. The land around the lake should be used to help improve the overall lives of current residents by offering new opportunities that would not exist without the lake’s creation.”***

- Fannin County Residents



## Guiding Principles

The guiding principles are an extension of the vision statement because they represent the County's priorities. Below are five elements that the consultant team determined important for developing the Lake Ralph Hall area for Fannin County residents.

1. **Economic Development** - Promote local economic development efforts to support local businesses, tourism and complementary lake businesses.
2. **Quality of Life** - Focus on quality of life amenities for existing and future Fannin County families.
3. **Quality Development** - Maintain a rural atmosphere and ensure quality development through nonresidential design enhancements.
4. **Safety** - Make Lake Ralph Hall a safe place to live and visit.
5. **Natural Preservation** - Ensure new development does not impact water quality or damage the health and growth of the natural environment.

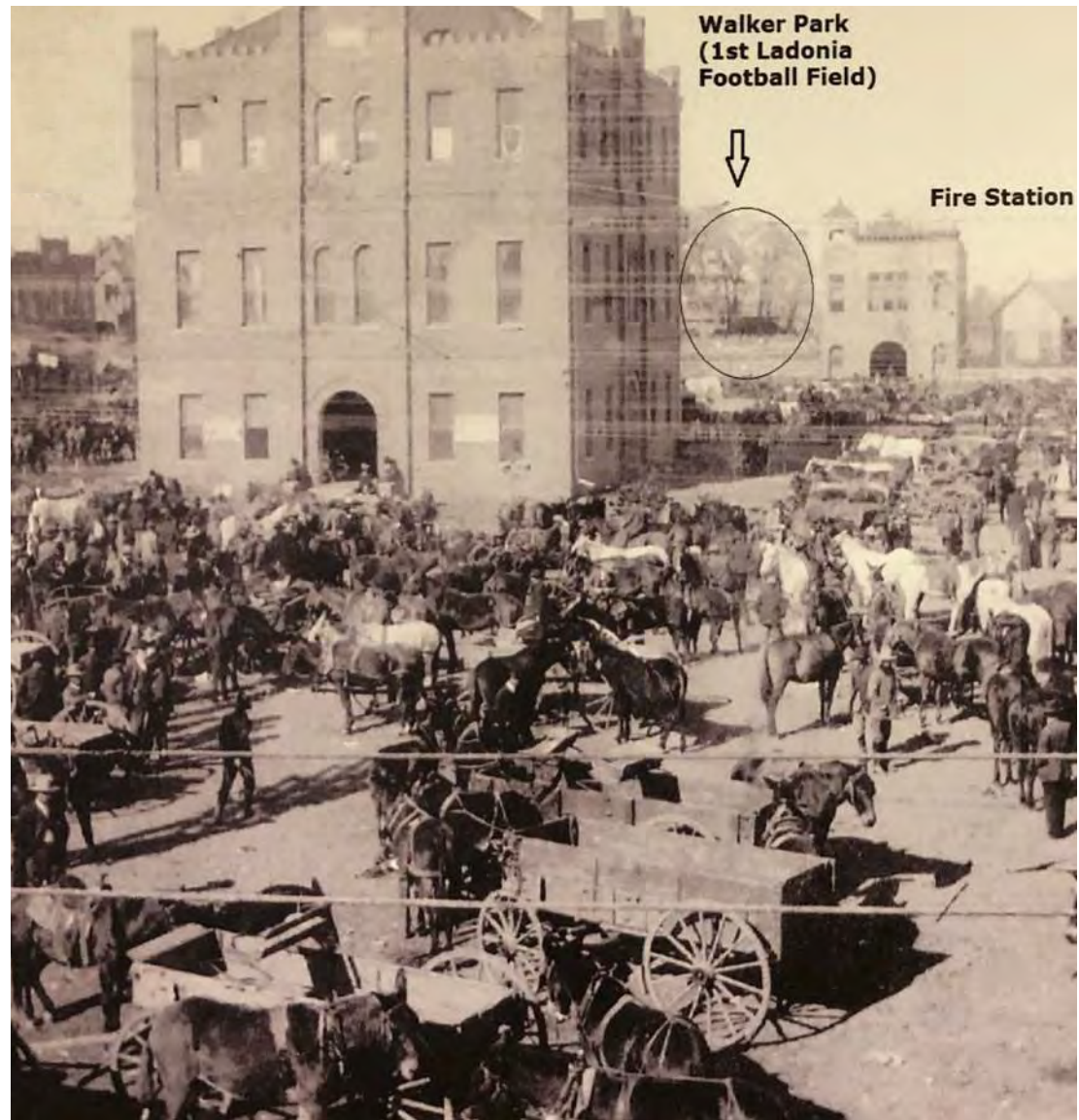


Photo Credit: The City of Ladonia

Historic Photo of Downtown Ladonia

# PLAN RECOMMENDATIONS

Plan recommendations are the action steps to achieve the County's vision and priorities. The guiding principles (GP) are representative of the County's priorities.



## Guiding Principle 1. Economic Development

Focus on developing commercial nodes in the Future Land Use Map to increase commercial and tourism opportunities

**Recommendation 1.1.** Focus on developing key areas for tourism opportunities to increase the County's sales tax revenue. (page 46)

**Recommendation 1.2.** Ladonia Fossil Park should be developed and marketed as a tourist destination for people from all over the state with a focus on the DFW area. (page 46)

**Recommendation 1.3.** Promote the development of the Northeast Texas Trail as a unique opportunity in the state and capitalize on development and branding opportunities. (page 47)

**Recommendation 1.4.** Plan for commercial and sales tax generating uses to be located around the lake and in the City of Ladonia to help fund municipal type services to the new development, such as water/wastewater services, emergency services, and road maintenance. (page 49)

**Recommendation 1.5.** Market the intersection of FM 1550 and SH 34 as a regional amenity and development opportunity to attract a higher tax revenue generator. (page 50)

**Recommendation 1.6.** Work collaboratively with UTRWD to develop the Public Access Area at the intersection of FM 1550 and SH 34 as an asset to the community that compliments the vision of the surrounding area. (page 50)



## Guiding Principle 2. Quality of Life

Focus on quality of life amenities for existing and future Fannin County families

**Recommendation 2.1.** Encourage life cycle housing to ensure the long-term viability and sustainability of neighborhoods. (page 51)

**Recommendation 2.2.** Implement the hike and bike trail system to increase connectivity and access to the County's recreational amenities. (page 51)

**Recommendation 2.3.** Promote quality developments that are designed as gathering places or destinations for families and tourists to visit and spend time. (page 52)

**Recommendation 2.4.** Adopt manageable zoning boundaries that are equitable and easily enforceable. (page 53)

**Recommendation 2.5.** Implement zoning regulations similar to those established for Bois d'Arc Lake to govern transparently and consistently throughout the County. (page 55)



## Guiding Principle 3. Quality Development

Maintain a rural atmosphere by preserving open space and ensure quality development through nonresidential design enhancements

**Recommendation 3.1.** Incorporate design standards for conservation design to maximize opportunities to develop private property while maintaining the County's rural character. (page 55)

**Recommendation 3.2.** Adopt nonresidential design enhancements to ensure quality development. (page 56)

- Landscaping along the street frontage
- Parking lot landscaping
- Screening between residential and commercial
- Dumpster screening
- Open storage screening
- Contractor yard screening
- Driveway standards

**Recommendation 3.3.** Adopt development standards for manufactured homes and RV parks. (page 59)

**Recommendation 3.4.** Protect major viewsheds of the lake (i.e., SH 34) to preserve the natural beauty of the lake by prohibiting outside storage, pole signs and undesirable development near the major corridors of the lake. (page 63)



#### **Guiding Principle 4. Safety**

Make Lake Ralph Hall a safe place to live and visit

**Recommendation 4.1.** Adopt a Safety Management Plan (page 64)

1. To identify potential lake hazards,
2. To determine the availability and capacity for fire, EMS, and law enforcement, and
3. To determine additional emergency equipment to respond to future lake hazards.

**Recommendation 4.2.** As the lake develops, partner with UTRWD to find opportunities where emergency responders could locate facilities and equipment on suitable UTRWD properties or potentially share facilities to enhance emergency service operations. (page 64)

**Recommendation 4.3.** Develop a relationship with the Fannin County Sheriff's office, local constables, Texas Parks and Wildlife Department (TPWD), and the City of Ladonia to coordinate law enforcement efforts around the lake based on the 2008 contract between Fannin County and UTRWD and the 2004 contract between the City of Ladonia and UTRWD. (page 65)



#### **Guiding Principle 5. Natural Preservation**

Ensure new development does not impact water quality or damage the health and growth of the natural environment

**Recommendation 5.1.** UTRWD to create a Lake Ralph Hall Shoreline Management Plan to establish development standards for private and public uses along the shoreline and within the UTRWD Property/Riparian Area. (page 66)

**Recommendation 5.2.** Establish building setbacks of 25 feet from the UTRWD Property/Riparian Area to ensure buildings have a reasonably safe distance from the lake operations. (page 67)

**Recommendation 5.3.** Establish development standards for development near all creeks in the Planning Area boundary in an effort to protect water quality and to enhance the aesthetic quality of the lake's natural features. (page 67)

**Recommendation 5.4.** Publish Best Management Practices (BMPs) for agricultural activities within the Lake Ralph Hall Planning Area to protect water quality. (page 68)

**Recommendation 5.5.** Encourage low impact development to manage stormwater and protect water quality. (page 68)



## ECONOMIC DEVELOPMENT

### ***Recommendation 1.1. Focus on developing key areas for tourism opportunities to increase the County’s sales tax revenue.***

Lake Ralph Hall will be a destination in Fannin County that will focus on existing and future families. Being the fossil capital of Texas will also attract more residents and visitors to the area, increasing the viability of shopping and dining opportunities. The Future Land Use Plan in Map 16 provides retail, office and commercial opportunities within the Lake Planning Area. The County should preserve these commercial nodes to attract visitors to the lake and to increase commercial services for Fannin County residents. Focusing efforts in the development and preservation of the commercial nodes will also increase the County’s sales tax revenue. Fannin County has collected a sales tax since 1999. Additionally, the County should partner with the City of Ladonia to market county-wide attractions, such as Downtown Ladonia, the Fossil Park, and Lake Ralph Hall.



## ECONOMIC DEVELOPMENT

### ***Recommendation 1.2. Ladonia Fossil Park should be developed and marketed as a tourist destination for people from all over the state with a focus on the DFW area.***

The Ladonia Fossil Park is a unique feature of the lake area and can draw in tourists from all over the state. The park offers visitors an opportunity to hunt for fossils in the river bed. After finding fossils, visitors are allowed to take any fossils they find as a souvenir, which is different than other popular fossil areas within the state, such as Dinosaur Valley State Park near Glen Rose, Texas. The Ladonia Fossil Park is potentially very appealing to families in the DFW area looking for a day trip on the weekend. The park and its ability to attract tourists should be used as a catalyst for commercial development.



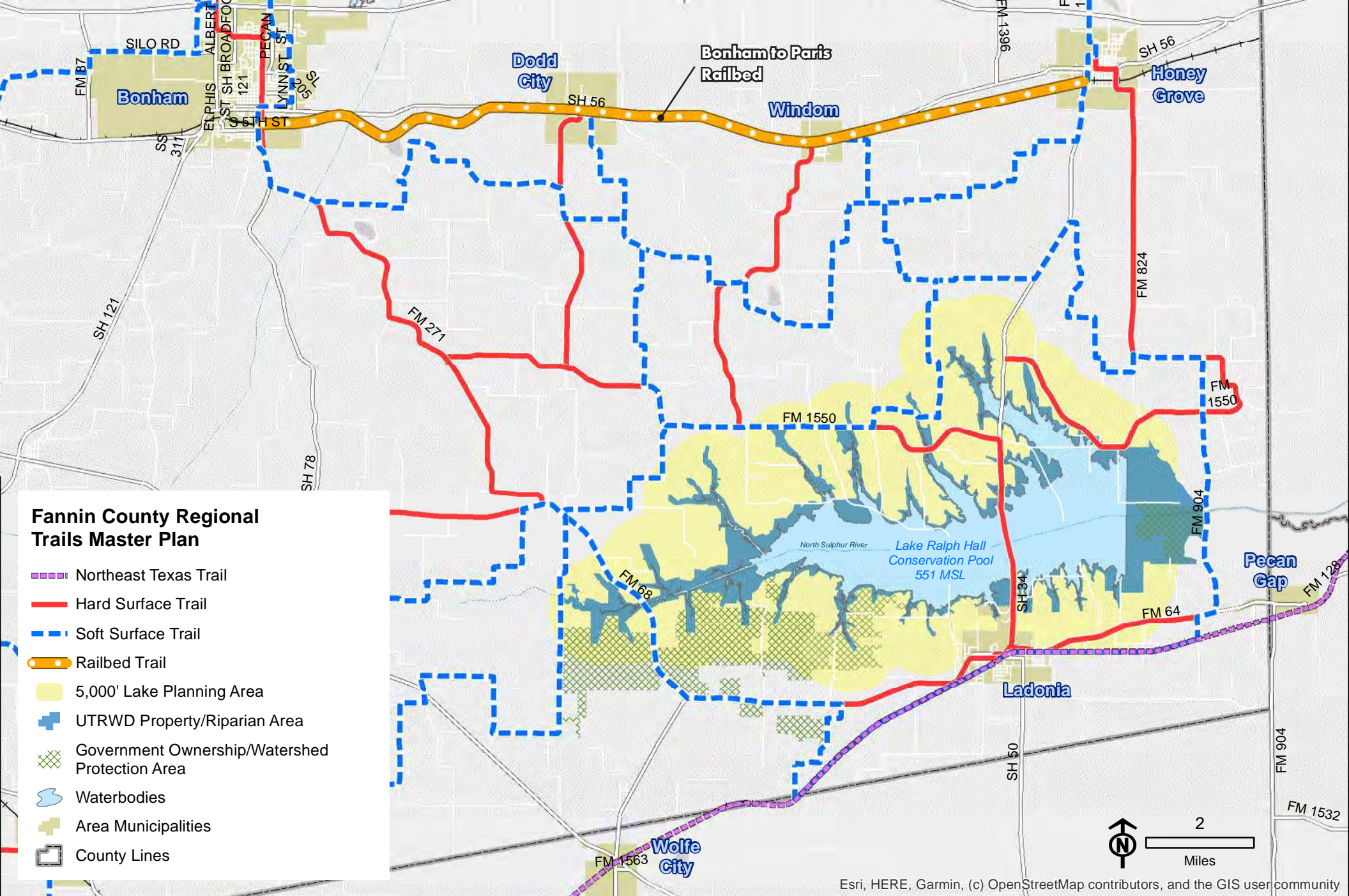


## ECONOMIC DEVELOPMENT

### ***Recommendation 1.3. Promote the development of the Northeast Texas Trail as a unique opportunity in the state and capitalize on development and branding opportunities.***

The 130-mile Northeast Texas Trail as shown in Map 17 is another tourism opportunity that commercial development can build upon. The trail is a unique recreational feature that has a broad appeal to tourists and people looking for outdoor recreation. Over the coming decades, the trail has the potential to be significantly improved and could offer an uninterrupted hike and bike trail for the entire 130 miles. Development along the trail should be designed to help increase the use and appearance of the trail. Opportunities exist for travel and lodging destinations along the trail.





Map 17. Fannin County Regional Trails Master Plan

Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community  
 Source: Fannin County Equestrian Trails Association (FETA)



## ECONOMIC DEVELOPMENT

***Recommendation 1.4. Plan for commercial and sales tax generating uses to be located around the lake and in the City of Ladonia to help fund municipal type services to the new development, such as water/wastewater services, emergency services, and road maintenance.***

Infrastructure is critical for having commercial development in the lake area. Water and wastewater services are required for many businesses to operate. In addition, businesses often need emergency services to help protect their investment in their property and assets. Also, road maintenance to ensure that goods, services, and customers can reach a business is critical for the success of commercial development. These services are usually offered by cities and are funded through taxes. The City of Ladonia already has the infrastructure in place to accommodate new development, and new development should be planned to occur inside the city limits to help provide the tax revenue needed to help fund these services. Likewise, commercial development should be expected and encouraged along major thoroughfares and intersections within planning area outside of the City of Ladonia.





## ECONOMIC DEVELOPMENT

### **Recommendation 1.5. Market the intersection of FM 1550 and SH 34 as a regional amenity and development opportunity to attract a higher tax revenue generator.**

The intersection of FM 1550 and SH 34 creates the potential for a regional commercial and residential development opportunity. Vehicular access is supported by these thoroughfares, and a future hard surface trail connection offers pedestrian access to the greater Fannin County Trail Network (page 48).

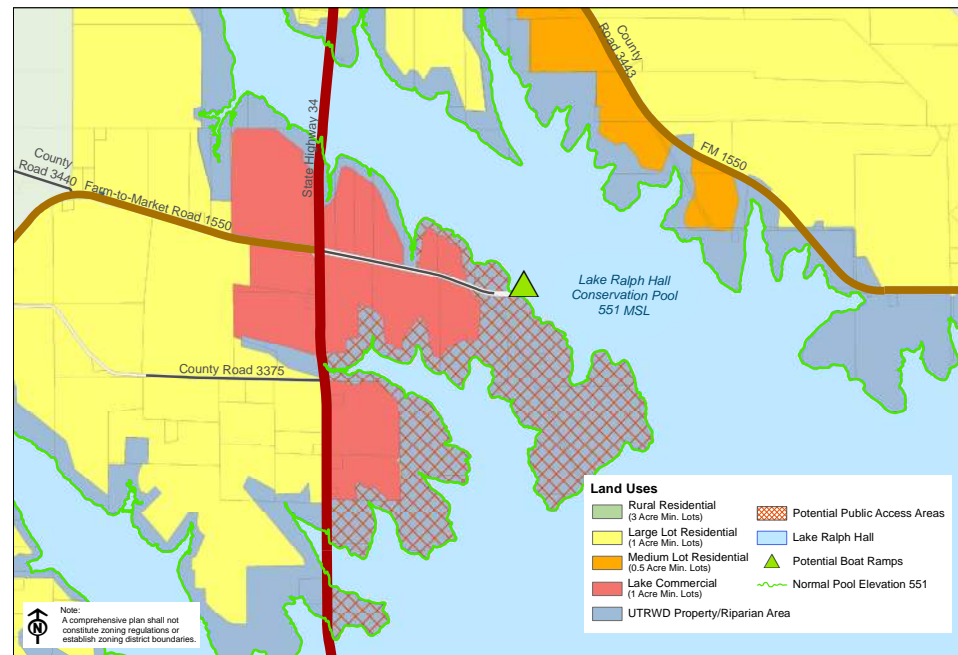
In order to support the county through sales-tax revenue, it is recommended that this area be promoted to a large-scale developer. Developing this area on a parcel-by-parcel basis may also be appropriate, however consideration should be given to the surrounding tracts to ensure a consistent built environment post-build out. Target development could be permanent or seasonal, and could include regional fishing or boating venues, commercial developments such as hotels and convention centers, or large employers seeking lake front offices. Regardless, development in this area should be high quality, and focused on providing access to Lake Ralph Hall in order to capitalize on economic development.



## ECONOMIC DEVELOPMENT

### **Recommendation 1.6. Work collaboratively with UTRWD to develop the Public Access Area at the intersection of FM 1550 and SH 34 as an asset to the community that compliments the vision of the surrounding area.**

Areas designated in the Future Land Use Plan as Potential Public Access Areas are owned by UTRWD; however, they will not be inundated with water or used towards other operational functions. Therefore, Fannin County, other local governments, and private entities have the opportunity to collaborate with UTRWD to establish a public amenity that will support surrounding Lake Commercial, Medium Lot Residential, and Large Lot Residential areas. Amenities may include tournament fishing grounds, camp sites, festival grounds, or public plazas and parks. Use of the Public Access Area should support the adjacent Lake Commercial development in promoting significant economic development, and should focus on attracting regional and local traffic to the area.



Map 18. Lakeside Peninsula Development Opportunities





## QUALITY OF LIFE

### ***Recommendation 2.1. Encourage life cycle housing to ensure the long-term viability and sustainability of neighborhoods.***

As the County continues to grow and see more residential development in the future, it is important for the County to allow various housing types to accommodate families and individuals of various incomes and different stages of life. "Life cycle housing" encourages diverse housing types to accommodate families with children, families without children, singles, empty nesters, retirees, and the expected increase in workforce to support new and existing economic development. Life cycle housing also encourages people to stay in the County long-term by giving people the flexibility to upsize or downsize, if necessary. The County should consider allowing various lot sizes and housing types in the lake zoning regulations to meet the needs of current Fannin County residents and future residents.



## QUALITY OF LIFE

### ***Recommendation 2.2. Implement the hike and bike trail system to increase connectivity and access to the County's recreational amenities.***

Hike and bike trails serve as a recreational amenity and boost the local economy by making communities more attractive to live. Home buyers tend to rank walking and biking paths as one of the most important features of a new community. Today, Fannin County has an opportunity to build upon the trail planning efforts by the Fannin County Equestrian Trail Association and the Northeast Texas Trail Coalition, who have taken the initiative to plan a regional trail system in Fannin County, as shown in Map 17. Additionally, the trail system provides the County with the opportunity to link the lake's future recreational areas to neighborhoods. It is recommended that the County require the dedication and construction of trails during the development process, as well as through County-initiated bond programs. The County should plan to update the Fannin County Regional Trails Master Plan to connect the lake's future public access and recreational areas to future trail networks.





## QUALITY OF LIFE

### ***Recommendation 2.3. Promote quality developments that are designed as gathering places or destinations for families and tourists to visit and spend time.***

The lake will be a destination for many residents and visitors. As development occurs, it should contribute positively to the overall development pattern around the lake and enhance the area's overall quality of life. Having places for families and tourists to gather and enjoy being near the lake is a major focus of this plan. Development such as a marina, lakeside shopping or entertainment areas with outside seating, or recreational areas provide the opportunity to serve as a destination or gathering place for people to enjoy the lake. Development near the lake should maximize its potential to provide its intended service and help improve the lake area's quality of life.





## QUALITY OF LIFE

### ***Recommendation 2.4. Adopt manageable zoning boundaries that are equitable and easily enforceable.***

Following the adoption of this Plan, Fannin County will pursue the development of Zoning Regulations within the Planning Area as authorized by Texas Local Government Code Chapter 231. The boundaries of zoning districts within the Planning Area will be determined at the time of Zoning Regulation adoption, and can be established by one of three criteria:

#### **Option 1: Full Project Boundary (22,082 acres)**

This option would extend the zoning boundaries to the full extent of the Planning Area, which is 5,000 feet beyond the lake's edge. This option would result in curved zoning boundaries that may or may not fully encompass affected properties.

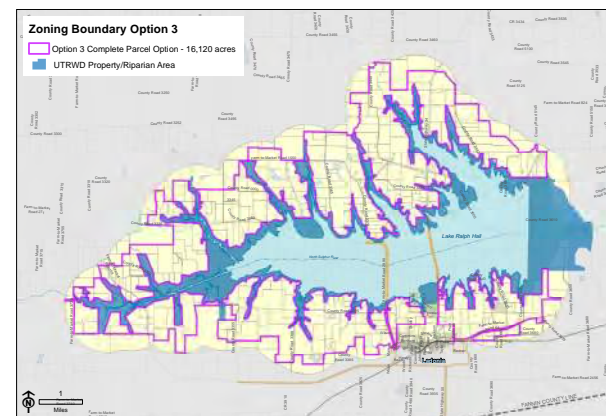
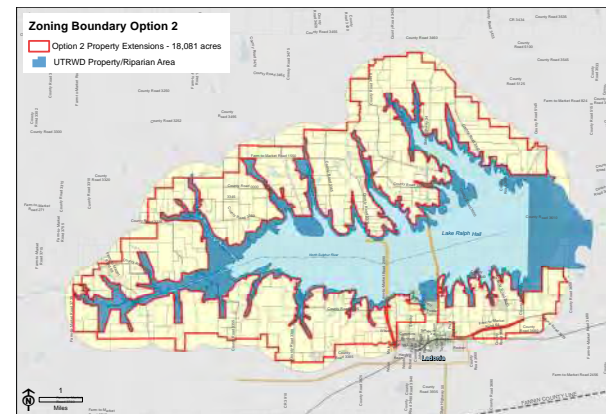
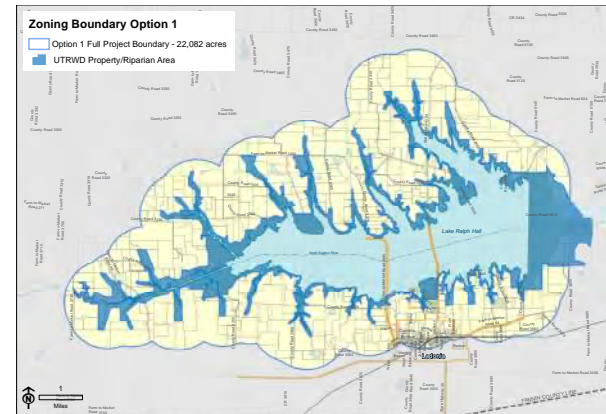
#### **Option 2: Property Extensions (18,081 acres)**

This option would also result in partially zoning some properties, but would restrict the zoning boundaries to straight longitudinal and latitudinal lines fully within the Planning Area limitations.

#### **Option 3: Complete Parcels (16,120 acres)**

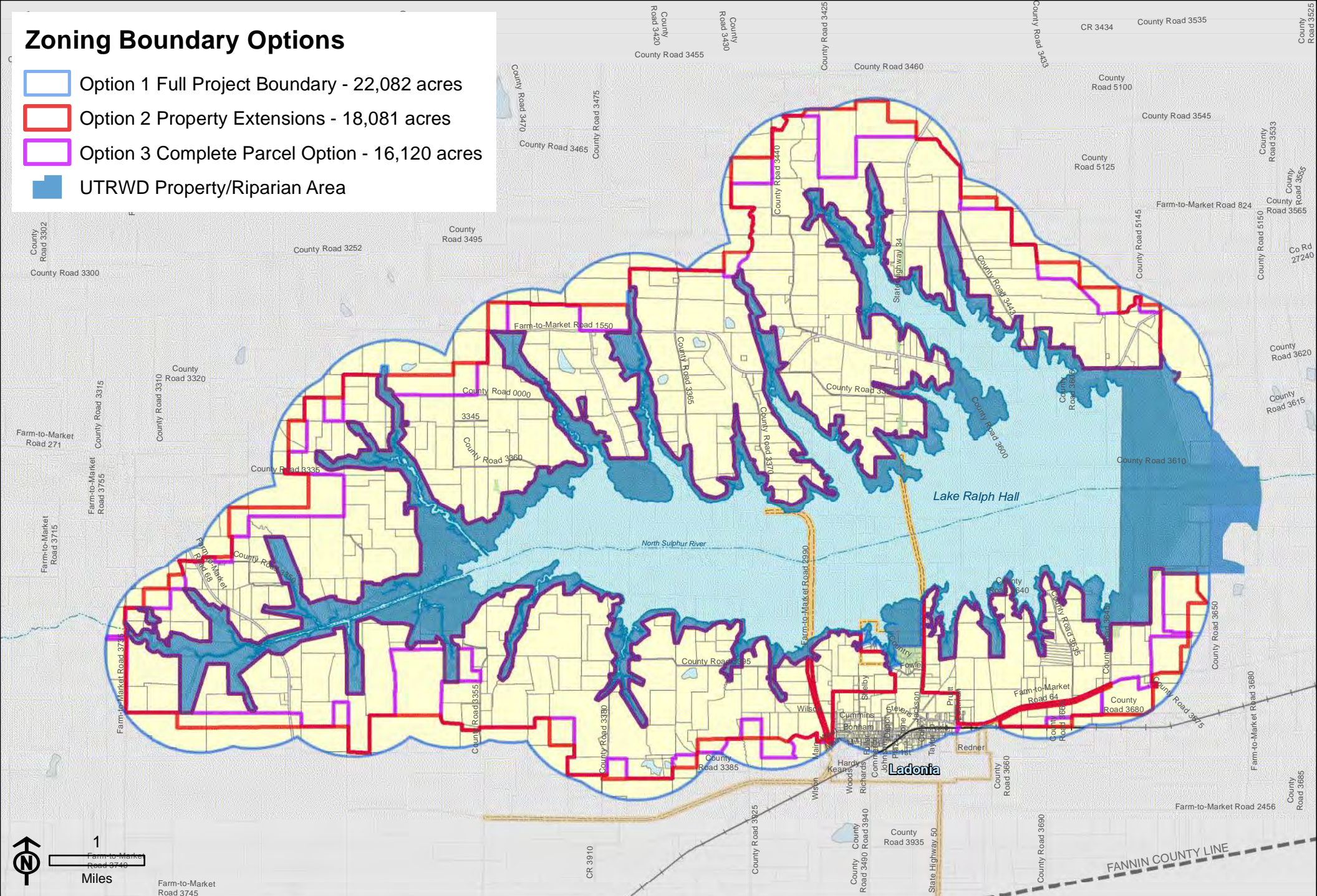
This option would limit the zoning boundaries to parcels completely within the Planning Area limits, excluding full parcels that extend beyond the 5,000-foot radius by any amount. This option would not result in partially zoned properties, but would omit large properties that only slightly extend beyond the Planning Area. In some instances, properties that immediately abut the UTRWD Property/Riparian Area would not be zoned because they extend out farther than 5,000 feet.

It is recommended that Option 2 be used when drafting the Zoning Regulations and zoning boundaries. This option gives Fannin County a reasonable amount of control of property abutting Lake Ralph Hall, while establishing manageable boundaries that are straight lines. This option can be seen in greater detail on the following page.



# Zoning Boundary Options

- Option 1 Full Project Boundary - 22,082 acres
- Option 2 Property Extensions - 18,081 acres
- Option 3 Complete Parcel Option - 16,120 acres
- UTRWD Property/Riparian Area



Map 19. Combined Zoning Boundary Options Map



## QUALITY OF LIFE

### ***Recommendation 2.5. Implement zoning regulations similar to those established for Bois d’Arc Lake to govern transparently and consistently throughout the County.***

Lake Ralph Hall will be the second lake reservoir to be established in Fannin County; the Lower Bois d’Arc Reservoir finished construction in 2021. Both located in the same county, the Comprehensive Plan and subsequent zoning regulations for Lake Ralph Hall are anticipated to be comparable to those of Bois d’Arc Lake.

In an effort to govern consistently and transparently across the county, it is recommended that there be coordination between these two regulatory documents and their respective zoning commissions. Should objectives be found different between the two lake planning areas, the interests of the surrounding Lake Ralph Hall residents should take priority when drafting the zoning regulations.



## QUALITY DEVELOPMENT

### ***Recommendation 3.1. Incorporate design standards for conservation design to maximize opportunities to develop private property while maintaining the County’s rural character.***

Chapters 231 and 232 of the Texas Local Government Code grant the County the authority to adopt zoning and subdivision regulations for the Lake Planning Area (refer to Figure 11). The County should incorporate design standards in the lake zoning regulations to both preserve open space and maximize opportunities to provide new residential development.

Conservation or cluster development is a concept used to require developers to allocate a certain percentage of each lot or the overall subdivision for open space for the

purpose of protecting natural features and incorporating more open space amenities. Additionally, the County may choose to give incentives or a density bonus to developers by allowing smaller lots or more units per acre in exchange for more open space beyond the minimum threshold. Whenever possible, private open space areas should also connect to the proposed trail systems, sidewalks, and other open spaces/recreational areas nearby.

It is best practice to dedicate a conservation easement during the platting process to limit development in areas devoted to open space. New cluster development within Lake Ralph Hall should dedicate a conservation easement to an HOA. HOAs can then conserve natural areas by leaving these conservation easements largely undeveloped.



Example of open space in a suburban neighborhood



## QUALITY DEVELOPMENT

### ***Recommendation 3.2. Adopt nonresidential design enhancements to ensure quality development.***

The importance of a community's look and feel is difficult to quantify but it has a direct impact on the perception of a community for residents and visitors alike. Issues surrounding community design and development, whether real or perceived, were recurring comments received during public input. This section provides several nonresidential enhancements that the County can require in the County's zoning and subdivision regulations for the Lake Ralph Hall Planning Area.

#### **Street Frontage Landscaping Standards**

Enhanced landscaping can have a significant impact on the aesthetic quality of the lake. Landscaped areas not only provide natural visual relief, but also increase property values. Landscape improvements can reap several economic benefits, such as attracting visitors to shop and dine at existing establishments and attracting more businesses into the County.

It is recommended that the City take advantage of the public domain to require more landscaping along the street frontage of public right-of-way. Unlike landscape median enhancements, which would typically be funded by the County, street frontage landscaping is funded by new development. The County can also require low impact development with street frontage and internal landscape requirements.

#### **Parking Lot Landscaping**

In addition to street frontage landscaping, the County should consider landscape requirements in parking areas. Parking lot landscape improvements may include:

- » 20-foot landscape buffer along the street frontage with a tree every 40 linear feet
- » 10-foot perimeter landscape buffer alongside property lines (supplemental landscaping may be required for screening and buffering)
- » Additionally, new development should preserve existing trees whenever possible, such as allowing for tree clustering in required landscape areas
- » Encourage low impact development in required landscape areas

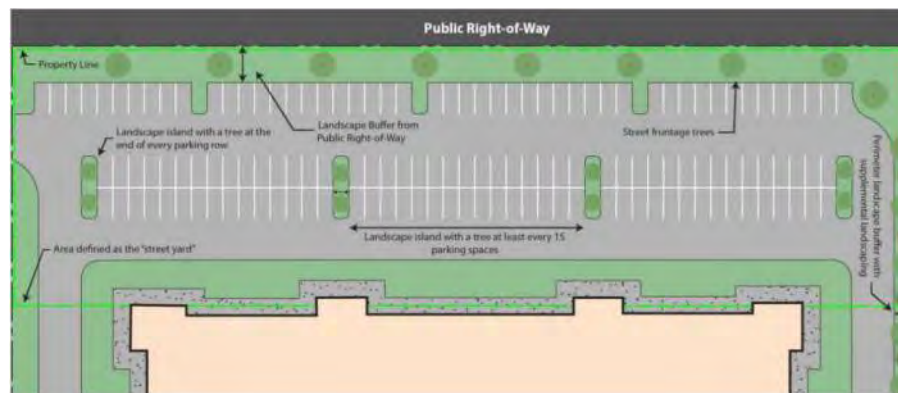


Example of no street frontage landscaping



Example of street frontage landscaping

Figure 11. Example of Parking Lot Landscaping



## Screening Between Residential and Nonresidential Uses

Screening and buffering requirements help mitigate the negative impacts of noncompatible land uses. For example, screening and buffering requirements may be required when a nonresidential use is adjacent to residential use or when an industrial use is adjacent to commercial use. Screening and buffering consist of an enhanced landscaped area along the shared property of the two noncompatible land uses with the combination of a screening wall, trees, and shrubs.

## Placement and Screening of Refuse Containers

The placement of trash and recycling receptacles is often an overlooked component of site design. They are often placed, unintentionally, in highly visible locations. Receptacles, however, do not have to be unsightly or reduce the visual quality of nonresidential developments. To ensure refuse containers do not become eyesores, they should be screened from public view or located behind the main structure. This can be done with a variety of materials such as masonry walls or landscaping.

## Open Storage Screening

Outside storage areas are generally defined as areas where goods and materials are displayed or stored outside a building for periods that are longer than 24 hours on a permanent basis. Examples include prefabricated storage sheds, commercial equipment, landscaping material storage, and some agricultural uses. To avoid unappealing views, new businesses should be required to locate outside storage in areas not visible to public view. Screening with masonry walls or fences are useful methods. This should be required of all outside storage except for those serving agricultural uses. Materials being stored should not exceed the height of the screening.



Example of a screening wall between residential and commercial



Example of a vegetative screening wall



Good example of placement and screening



Bad example of placement and screening



Bad example of open storage screening

## Contractor Yard Screening

Similar to open storage the County can enforce screening for Contractor Yards from view of public right-of-way. Screening may consist of wood or masonry screening fences.

## Driveway Standards

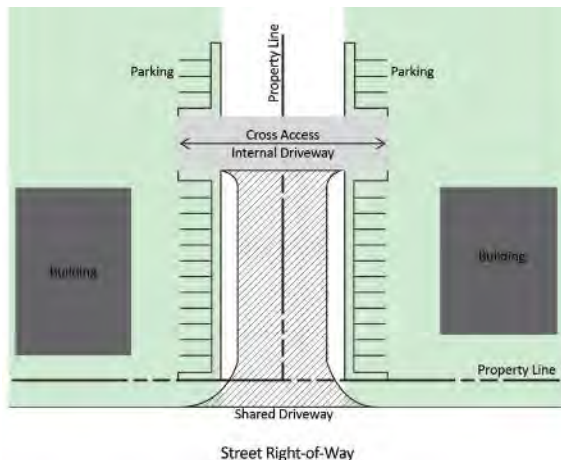
It is recommended that the County incorporate access management standards to improve connectivity and reduce the number of driveways along a County road. Access management is the systematic control of the location, spacing, design, and operation of intersections, driveways, median opening, and street connections. Managing roadway access can increase connectivity, safety and reduce traffic congestion. Cross access management yields many functional and aesthetic benefits to improve existing conditions and ensure quality development in the future.



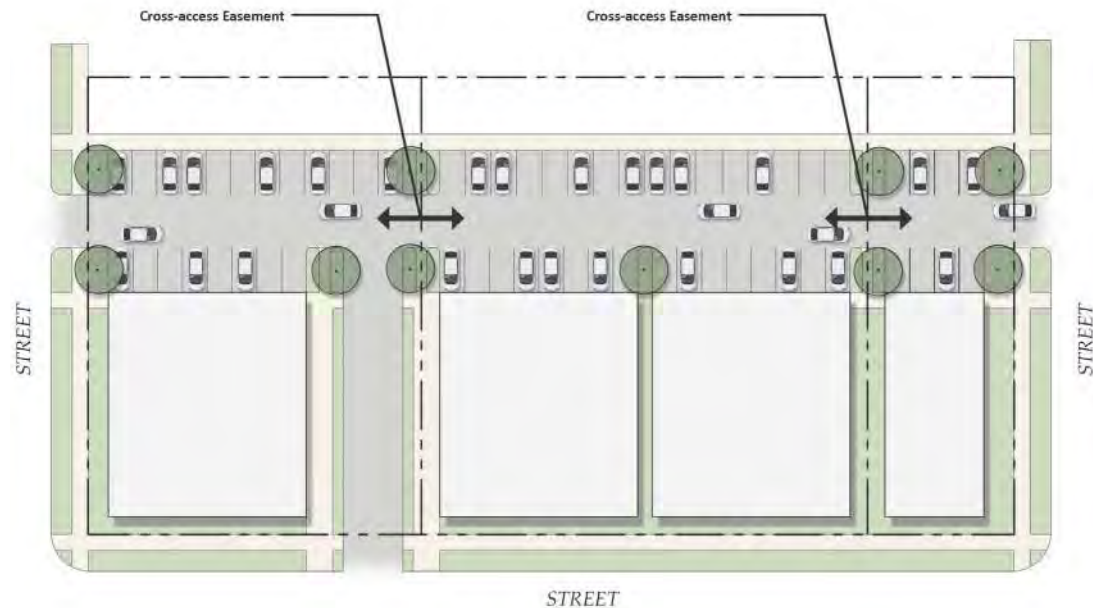
Good example of contractor yard screening



Bad example of contractor yard screening



Example of shared driveway with cross access



Good example internal cross access





## QUALITY DEVELOPMENT

### ***Recommendation 3.3. Adopt development standards for manufactured homes and RV parks.***

#### Manufactured Homes

There are three types of manufactured homes: mobile homes, manufactured (HUD Code) homes and industrialized (modular) homes. The primary difference is that manufactured homes are constructed to the Federal HUD Code standards and modular homes are constructed to the same State of Texas codes as site built houses. Mobile homes were built prior to June 15, 1976, when no building codes were in place to regulate their construction.

According to State law, regulations may not differentiate between modular homes and site built homes. Modular homes become a part of the real property once installed and must be installed on a permanent foundation system. Manufactured homes should be allowed in residential areas around the lake as long as they conform to the standards that are outlined in the zoning ordinance. To promote quality development, modular homes should be encouraged over manufactured homes.



Example of a mobile home



Example of a HUD Code manufactured home



Example of a modular home

#### Industrialized or Modular Home

- » Built off-site,
- » Installed on permanent foundation, and
- » Consists of a Blue Decal issued by Texas Department of Licensing and Regulation signifying that the home has been built to comply with the International Residential Code, 1202.002. Industrialized homes are regulated by the Texas Department of Licensing and Regulation. This agency provides a modular home with the blue decal signifying that the home has been built to the model code standards required. More information on industrialized homes is available at [www.tdlr.state.tx.us/index.htm](http://www.tdlr.state.tx.us/index.htm).

#### HUD Code Manufactured Home

- » Built on or after June 15, 1976,
- » Per Texas Occupation Code, 1201.003(18), a "manufactured home" is defined as "a HUD-Code manufactured home or a mobile home,"
- » Consists of Red Certification Label from the US Department of Housing,
- » HUD-Code manufactured homes are regulated by the Manufactured Housing Division of the Texas Department of Housing and Community Affairs. These manufactured homes are provided with a red label certifying the structure meets the standards specified by the Texas Department of Housing and Community Affairs. More information on HUD-Code manufactured homes is available at [www.tdhca.state.tx.us](http://www.tdhca.state.tx.us).

## Mobile Home

- » Built before June 15, 1976
- » Not built to a code
- » No certification label from the US Department of Housing and Urban Development
- » Design to be used with or without a permanent chassis

## Tiny Home

- » If used full time, Tiny Homes are considered regular, stick-built homes or modular homes
- » Per Section 621.201 of Texas Transportation Code, the total width of a vehicle operated on a public highway, including a Tiny Home in-tow, may not exceed 102 inches

## Recreational Vehicle (RV)

- » Built on a single chassis
- » 400 square feet or less measured at the largest horizontal projections
- » Self-propelled or permanently towable by a light-duty truck
- » Designed as a temporary living quarters for recreational use, with registration from appropriate County and State agencies

## Recreational Vehicle (RV) Parks and Camping Area

The area surrounding Lake Ralph Hall is envisioned to include recreational opportunities. Therefore, it is recommended that the County develop standards for future recreational vehicle (RV) parks and camping areas. These RV parks and camping areas will be allowed to be located within the nonresidential areas since they fall within the commercial category, and may be considered in residential areas through the rezoning process. The following standards are recommended to be applied to all RV parks and camping areas surrounding Lake Ralph Hall.

### Park Area

The minimum area of RV parks and camping areas should be 3 acres.

### Rental Space Size

A minimum rental space of 1,500 square feet should be required for all individual sites (including concrete pad and open space). There should not be a minimum square footage requirement for tent sites or building sizes. Rental cabins tend to be small since most time is spent outside of the cabin utilizing the recreational areas.

### Rental Pads

A minimum of 80 percent of all spaces should be equipped with a surfaced area that has a minimum area of 10 feet by 40 feet. These areas should have water, sewer, and electricity hookups available. Surfacing should consist of concrete or asphalt, unless otherwise approved by the County. Other alternatives are pervious pavement or reinforced grass, which promote infiltration and have many benefits to water quality.



## Streets

Streets within RV parks should be designed to provide the safest and most convenient access to all rental spaces and common use facilities. Streets should be constructed in a manner that allows emergency vehicles easy access into the park and throughout the internal street network. It should be required that all streets be paved with concrete or asphalt of a similar standard, and are a minimum of 24 feet for two-way traffic and 15 feet for one way traffic. Wherever an interior street is meant to curve, it should be required that there be a 45 foot turning radius to facilitate access for emergency vehicles.

## Frontage

To provide ample space between rental spaces, all spaces should be required to have a minimum frontage of 30 feet along an interior roadway.

## Disposal Stations

RV parks should be required to have at least one sanitary disposal station. These stations should only be used to remove and dispose of waste from RV holding tanks.

## Utilities

**Water** — A supply of accessible, adequate, safe, and potable water that is under pressure should be provided within an RV park. All aspects of the water supply from design, construction, and maintenance should be required to comply with the Texas Commission on Environmental Quality (TCEQ) standards as well as Fannin County standards. Rental RV spaces that are equipped with sewer and electrical connections should have two water outlets, while all other spaces only need one.

**Sewer** — Sewer connections should be made to a centralized sewer system.

**Electricity** — Electrical outlets should be made available to all rental pad sites. They should be installed in compliance to the State of Texas Electrical Code. Electrical utility lines should be placed underground so as to not disrupt the look and feel of the RV park.



Example of an RV Park with substandard streets and parking



Example of an RV Park monument sign



Example of an RV Park with no development standards

## Refuse Disposal

Refuse disposal should be made accessible to all occupants of the RV park. One small refuse container should be required within each rental space and several large containers should be located throughout the park. Large refuse containers should be required to be screened from public view. Park owners should be responsible for the appropriate collection and removal of refuse.

## Landscaping

Grass and other natural landscaping should be required throughout all RV parks and should be designed to give parks an aesthetically pleasing appearance within the park and along the frontage from major roadways. Landscaping should also serve as a buffer between the RV park and adjacent properties.

## Structural Additions

Canvas awnings, screened enclosures, platforms, or any other temporary structure that is normally associated with camping should be allowed within a rental space, but must be removed when the space is vacated. No other structural additions should be allowed.





## QUALITY DEVELOPMENT

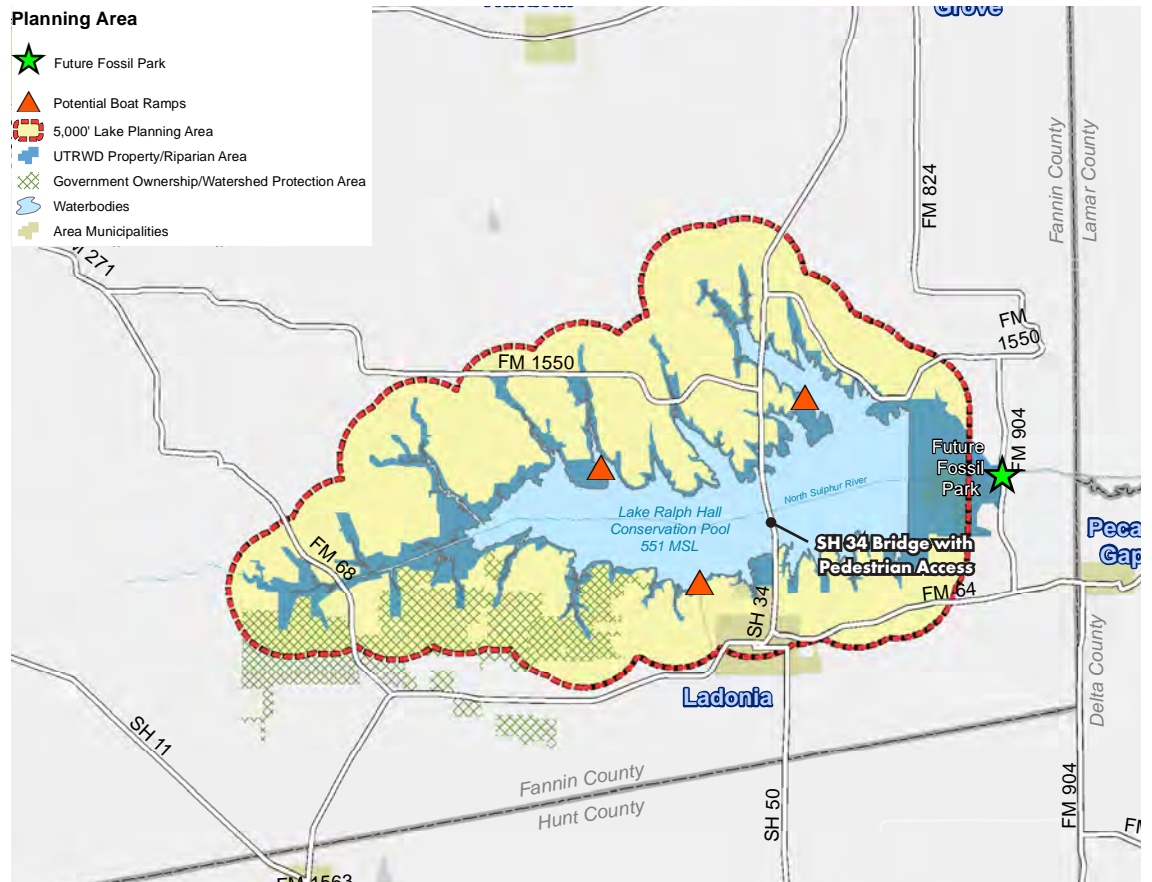
**Recommendation 3.4. Protect major viewsheds of the lake (i.e., SH 34) to preserve the natural beauty of the lake by prohibiting outside storage, pole signs and undesirable development near the major corridors of the lake.**

The lake zoning regulations should protect major viewsheds of the lake to preserve the natural beauty of the lake. This can be accomplished by prohibiting outside storage, pole signs, and undesirable development near the major corridors of the lake, such as SH 34. The SH 34 bridge will be a major corridor in the Lake Ralph Hall Planning Area. New development along SH 34 should be built to a high standard that enhances the aesthetic quality of the area and compliments the lake. Uses along the lake's major corridors should consist of shopping, dining, and establishments that cater to people visiting the lake.



Rendering of SH 34 Bridge and Pedestrian Bridge

Map 20. Lake Ralph Hall Planning Area





## SAFETY

***Recommendation 4.1. Adopt a Safety Management Plan 1) to identify potential lake hazards, 2) to determine the availability and capacity for fire, EMS, and law enforcement, and 3) to determine additional emergency equipment to respond to future lake hazards.***

Lake Ralph Hall will be approximately 7,568 acres or just under 12 square miles, and will host several recreational opportunities to the public. Lake Ralph Hall will be less than half the size of Bois d' Arc Lake (16,600 acres). As a main tourist attraction, the lake will indirectly also increase the need for other public services such as fire, emergency medical services and law enforcement. The County should preemptively evaluate the availability and capacity of current services and the need for more personnel in the future. Additionally, the lake poses additional hazards that may require specialized training, such as rescue training.



## SAFETY

***Recommendation 4.2. As the lake develops, partner with UTRWD to find opportunities where emergency responders could locate facilities and equipment on suitable UTRWD properties or potentially share facilities to enhance emergency service operations.***

In order to help make the lake area a safe place to live and visit, emergency responders could benefit from partnering with UTRWD to help meet their organizational needs. To provide emergency services, different agencies might have a boat that needs to be stored in a boat shed or potentially a warning siren that an agency would like to be installed on UTRWD property. There are many possibilities for potential partnerships. Notably, these partnerships need also to consider UTRWD's purpose is to provide water from the lake and manage the operation of the lake. Notably, UTRWD, Fannin County and Ladonia have coordination contracts to address safety matters.





## SAFETY

***Recommendation 4.3. Develop a relationship with the Fannin County Sheriff's office, local constables, Texas Parks and Wildlife Department (TPWD), and the City of Ladonia to coordinate law enforcement efforts around the lake based on the 2008 contract between Fannin County and UTRWD and the 2004 contract between the City of Ladonia and UTRWD.***

With a large land area and multiple jurisdictions delivering services, Lake Ralph Hall can provide a safer environment for residents and visitors when different law enforcement agencies work closely together and share knowledge regarding the lake. Relationships should be developed between the Fannin County Sheriff's office, local constables, and the City of Ladonia. A monthly or quarterly Lake Ralph Hall safety meeting could be helpful to all the agencies. This meeting could serve to develop a relationship where coordination can occur and ultimately benefit County residents. With increased operational knowledge, duplicative efforts could be reduced, and each agency could continue to focus on providing quality services.





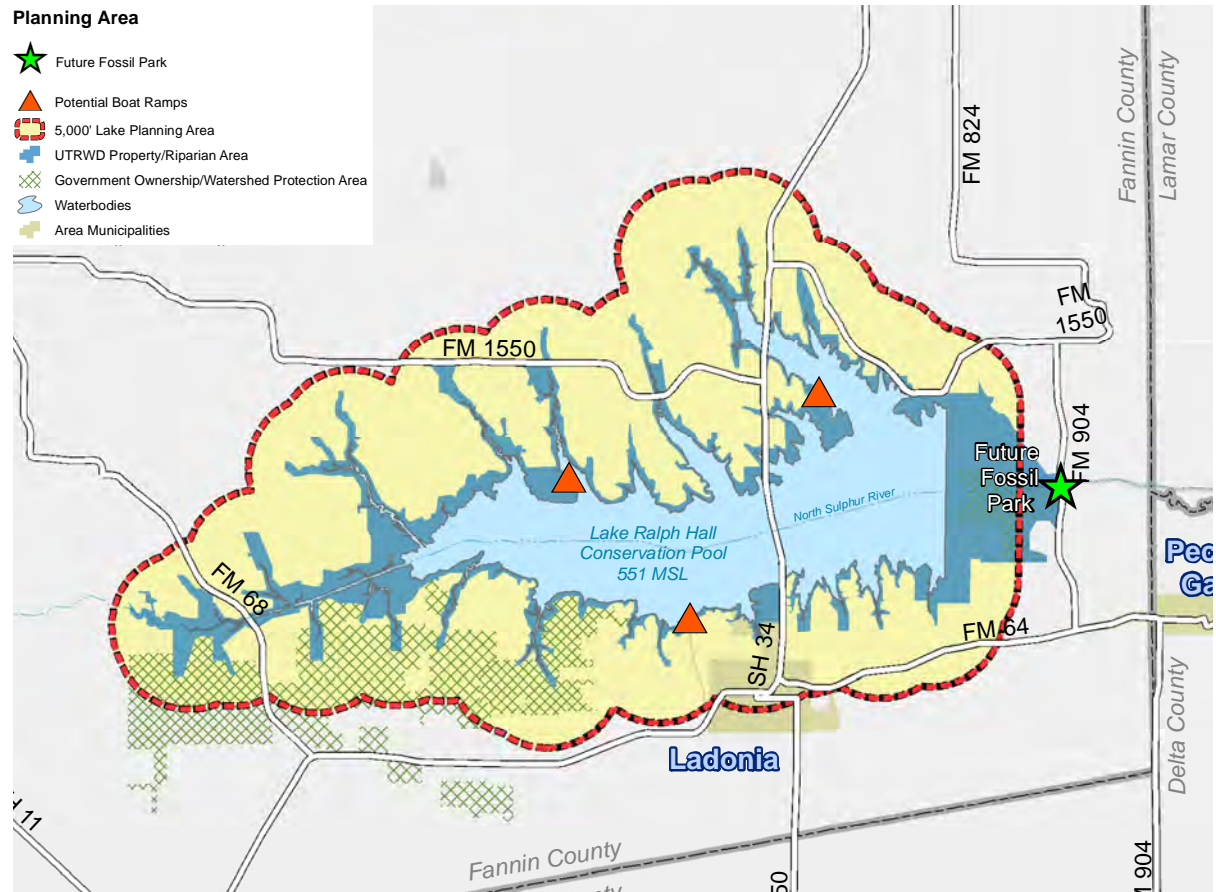
## NATURAL PRESERVATION

### ***Recommendation 5.1. UTRWD to create a Lake Ralph Hall Shoreline Management Plan to establish development standards for private and public uses along the shoreline and within the UTRWD Property/Riparian Area.***

A Shoreline Management Plan (SMP) establishes guidelines for protecting and using the Lake’s shoreline. The SMP is to guide the development of the shoreline to ensure desirable environmental characteristics are preserved to protect water quality standards, while allowing for public and private shoreline uses. The plan would provide standards and procedures for reviewing, approving, and administering private shoreline uses on UTRWD property adjacent to Lake Ralph Hall. The shoreline area owned by UTRWD is shown as “UTRWD Property/Riparian Area” in Map 21.

The SMP would establish a map to show areas appropriate for private and public development along the shoreline and within the UTRWD Property/Riparian Area. The map would also identify naturally sensitive areas in which development should be restricted because it could impact water quality or disturb the maintenance operations of the Lake. Since the UTRWD Property/Riparian Area is privately owned, it is recommended that UTRWD work closely with the County in developing the SMP. After the SMP establishes the type and located of permitted uses along the shoreline, UTRWD should set a permitting process to review and approve future development requests, including private retaining walls and docks.

Map 21. UTRWD Property/Riparian Area







## NATURAL PRESERVATION

***Recommendation 5.2. Establish building setbacks of 25 feet from the UTRWD Property/Riparian Area to ensure buildings have a reasonably safe distance from the lake operations.***

The zoning regulations for the Lake Planning Area should establish building setbacks for new development near the lake. The building setback should be dimensioned 25' from the UTRWD Property/Riparian Area to ensure new development does not encroach on private property.

In addition to the building setbacks, the County should strongly encourage or promote residential development to connect to a centralized sewer system to reduce the use of septic systems near the lake. Septic systems that are permitted should be designed in a way that allows for future connection to a centralized system once available. The County should work collaboratively with UTRWD to update the County's septic system regulations within the watershed of the lake.



## NATURAL PRESERVATION

***Recommendation 5.3. Establish development standards for development near all creeks in the Planning Area boundary in an effort to protect water quality and to enhance the aesthetic quality of the lake's natural features.***

The zoning regulations for the Lake Planning Area should establish special development regulations for development occurring adjacent to creeks. Since creeks within the Lake Ralph Hall Planning Area are tributaries to Lake Ralph Hall, it is essential to limit sources of pollution into the creek that could compromise the water quality of Lake Ralph Hall. Additionally, the creeks in the Planning Area are natural assets that should be protected, preserved, and enhanced with new development.

When new development is adjacent to a creek, the developer should be required to:

- » Install a landscape buffer of 25' from the water's edge with a double row of trees planted every 30' on center (existing trees may count towards this requirement),
- » Preserve a public open space area around the creek with benches and landscaping,
- » Provide a connection from an existing hike and bike trail to the creek,
- » Discourage mowing or other vegetation removal activities within 50 feet of a creek tributary, and
- » Other preventative measures to protect or enhance creeks in the Lake Ralph Hall Planning Area.



## NATURAL PRESERVATION

### ***Recommendation 5.4. Publish Best Management Practices (BMPs) for agricultural activities within the Lake Ralph Hall Planning Area to protect water quality.***

Farming and ranching have been a way of life in Fannin County for generations and will continue to be in the future. In collaboration with UTRWD, the County should create Best Management Practices (BMPs) for farmers, ranchers, and residential homeowners to protect sensitive areas of the lake and water quality. An example of BMPs for agricultural activity can discourage fertilizers, herbicides, pesticides, and other outdoor chemicals. Establishing these preventative measures early in the development of the Lake Planning Area will limit contamination of the lake water.

Figure 14. Agricultural BMPs



The County should partner with UTRWD to provide educational materials and resources on agricultural BMPs



## NATURAL PRESERVATION

### ***Recommendation 5.5. Encourage low impact development to manage stormwater and protect water quality.***

The County may require a drainage plan with a subdivision application to verify that the property owner or developer provides the adequate infrastructure to manage existing drainage conditions and anticipated drainage impacts with new development. The County should encourage low-impact development techniques as an alternative to typical stormwater infrastructure, such as curb and gutter systems. Low-impact development techniques emphasize using natural and engineered infiltration systems to manage stormwater and filter contaminants from stormwater runoff before being absorbed in the ground. Low impact development techniques appropriate for Lake Ralph Hall include bioretention basins, bioswales, and permeable surfaces. Best practices for low impact development should be incorporated into the County's drainage standards. In an effort to protect water quality in the lake watershed, the County should allow UTRWD to review and comment on development plans.

Figure 12. Bioretention



Bioretention areas are small-scale, vegetated depressions designed to capture and store stormwater and filter contaminants from the runoff

Figure 13. Bioswales



Bioswales are shallow open channels designed to reduce stormwater volumes with the primary objective of filtering contaminants from the runoff rather than conveying water

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# CHAPTER 3 FUTURE LAND USE & TRANSPORTATION

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# FUTURE LAND USE PLAN

## THE FUTURE LAND USE MAP

The Comprehensive Plan is a tool for the County to coordinate growth to protect the health, safety, and welfare of the County's residents. The Future Land Use Map is an essential component of the Comprehensive Plan that establishes the type of land uses that are appropriate around Lake Ralph Hall and consistent with the County's vision for the lake. It is important to note that the Future Land Use Map is not a zoning map. The Comprehensive Plan is a policy document that is used by County Officials to guide the growth and the development of the County. The zoning map will be a component of the County's zoning and subdivision regulations for Lake Ralph Hall, which will be developed after the comprehensive plan is adopted by the Commissioners Court. The Future Land Use Map will serve as a blueprint to help guide land use decisions to achieve the City's vision. County officials will use the Future Land Use Map for zoning requests and other land use decisions to ensure compliance with the City's vision for the Lake Ralph Hall area.

## FUTURE LAND USE CATEGORIES

This section of the Future Land Use Plan provides an in depth description of each recommended land use type as shown in Map 22. This section also provides recommendations as to the development of each land use type to provide some guidance for the creation of the Zoning Ordinance. The Future Land Use categories are:

- » Rural Residential
- » Large Lot Residential
- » Medium Lot Residential
- » Lake Commercial
- » General Commercial
- » Institutional
- » UTRWD Property/Riparian Area
- » Potential Public Access Areas
- » Government Ownership/Watershed Protection Area



Welcome Sign to the City of Ladonia

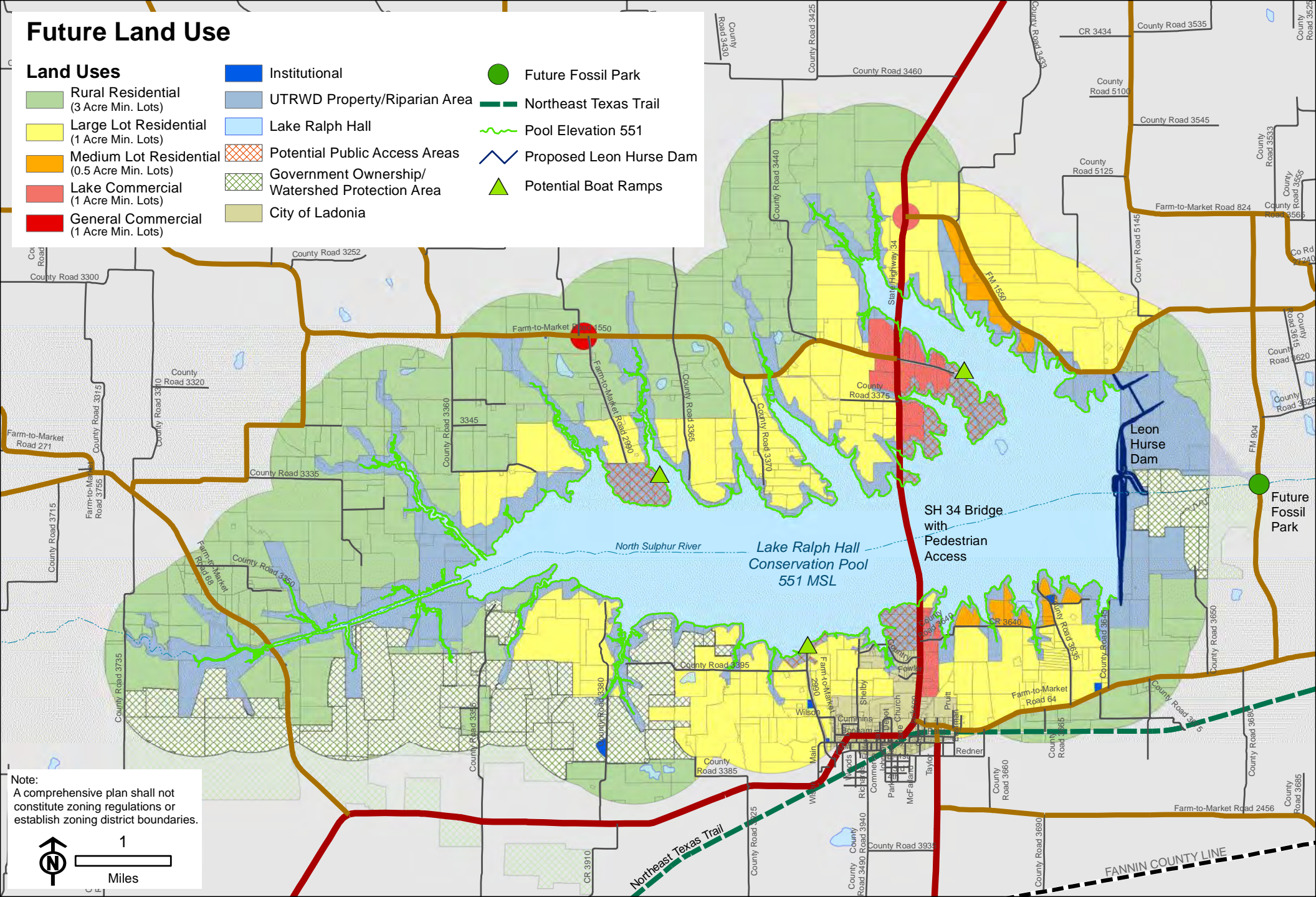


Agricultural Land in Fannin County

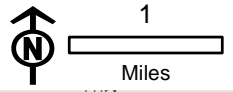
# Future Land Use

## Land Uses

- Rural Residential (3 Acre Min. Lots)
- Large Lot Residential (1 Acre Min. Lots)
- Medium Lot Residential (0.5 Acre Min. Lots)
- Lake Commercial (1 Acre Min. Lots)
- General Commercial (1 Acre Min. Lots)
- Institutional
- UTRWD Property/Riparian Area
- Lake Ralph Hall
- Potential Public Access Areas
- Government Ownership/Watershed Protection Area
- City of Ladonia
- Future Fossil Park
- Northeast Texas Trail
- Pool Elevation 551
- Proposed Leon Hurse Dam
- Potential Boat Ramps



Note:  
A comprehensive plan shall not constitute zoning regulations or establish zoning district boundaries.



Map 22. Future Land Use Map

## What is a Concentrated Animal Feeding Operation (CAFO)?

In Texas, CAFOs are regulated by the Texas Commission on Environmental Quality. They are defined as “lots or other facilities, other than an aquatic animal production facility, where animals have been, are, or will be stabled or confined and fed or maintained for a total of 45 days or more in any 12-month period, and in which the animal confinement areas do not sustain crops, vegetation, forage growth, or post-harvest residues in the normal growing season over any portion of the lot or facility.”



Typical agricultural uses such as animal or livestock grazing are not classified as CAFOs, and are not suggested to be limited in this plan.

Source: Texas Commission on Environmental Quality

## RURAL RESIDENTIAL (MINIMUM 3 ACRE LOTS)

### Vision

Land with the designation of rural residential is envisioned to take up most of the planning area beyond the frontage of Lake Ralph Hall. This land use type will prevent over development from occurring as well as support the continuing operation of an important part of the agricultural related businesses found in Fannin County. The designation includes land that is used for active farming or ranching, hunting, fishing, open space, and agricultural operations.

### Recommendation

Concentrated animal feeding operations (CAFOs) should not be allowed within this land use category. CAFOs are agricultural facilities in which animals are kept and raised in confined areas and whose waste is discharged into the water supply and surrounding areas, threatening surrounding air, soil, and water quality. Prohibiting CAFOs within Lake Ralph Hall will ensure that there is a high level of environmental quality, ensuring that the Lake Ralph Hall area is a clean, attractive place for commercial and residential development.

### Desirable



### Undesirable







# LARGE LOT RESIDENTIAL (MINIMUM 1 ACRE LOTS)

## Vision

This land use represents single-family homes located on lots that are a minimum of one acre. The purpose of this category is to maintain the rural characteristics of the area with large lot single-family homes.

## Recommendations

All new lots should have 100 feet of frontage and limits on impervious coverage should be set at 50 percent. Access should be primarily from roads with a rural cross section. Homes should have a front yard setback and rear yard setback that is adequate to ensure ample spacing between homes and maintain the rural characteristics of the area. Connecting to a centralized sewer system is preferred and strongly encouraged to avoid the use of septic systems (e.g., on-site sewage facility) that could be detrimental to the lake’s water quality.

Desirable



Undesirable



# How Does the Future Land Use Plan Relate to Zoning?

The Future Land Use Map informs the zoning ordinance by providing a framework for where land uses are suitable around the lake. The Future Land Use Map is not a zoning map but a blueprint to guide the zoning districts established in the Lake Planning Area. The zoning districts established in the Lake Planning Area should generally comply with the land uses envisioned in the Future Land Use Map.

During the public input process, the Commissioners Court and the development community expressed the need to take a more proactive approach with the Future Land Use Map by establishing more nonresidential uses around the lake. The lake will propel commercial development in the Lake Planning Area. The Future Land Use Map identifies areas appropriate for commercial versus residential development and limits development in naturally sensitive areas around the lake.



## MEDIUM LOT RESIDENTIAL (MINIMUM 0.5 ACRE LOTS)

### Vision

The smallest lots in this category are a minimum of 21,780 square feet (0.5 acre).

### Recommendations

Lots should generally have 80 feet of frontage to ensure that lots are all of a similar shape and to avoid the creation of flag lots. Limits on impervious coverage should be set at 40 percent. Connecting to a centralized sewer system is preferred and strongly encouraged to avoid the use of septic systems that could be detrimental to the lake's water quality. Residential subdivisions should connect to a centralized sewer system if lot sizes are permitted below one acre to reduce the use of septic systems near the lake.

Desirable



Undesirable





## GENERAL COMMERCIAL

### Vision

Commercial uses will be primarily located along major thoroughfares and areas of significant activity not immediately adjacent to primarily residential areas. Commercial uses should be complementary to the overall environment of the Lake Area and fulfill a need of the community by providing shopping, dining, employment, or other essential services. Commercial uses should utilize buildings and structures that are constructed to a high quality to ensure that they are visually appealing as well as to prolong the life of the structure. This land use is envisioned to be limited to properties having direct access to state-maintained highway corridors that do not force commercial traffic to traverse residential areas.

### Recommendations

Nonresidential uses should have a minimum lot size of one acre to ensure compatibility and buffering from more sensitive uses. Nonresidential uses should provide an appropriate amount of parking and landscaping and should utilize stormwater control facilities that prevent transmission of surface runoff directly into the lake.

Desirable



Undesirable





## LAKE COMMERCIAL

### Vision

Lake Commercial is planned on SH 34, which is the primary access and gateway to Lake Ralph Hall. Land designated for Lake Commercial should be developed at a higher quality than the General Commercial designation, and should include a mix of residential and commercial development. Commercial uses should be complementary to the lake, including restaurants, hotels, small shops, and marinas. Residential uses should be diverse in type and size to support surrounding commercial uses. This land use designation should encourage marinas and other lakeside commercial development for boating activities, and should support pedestrian connections from surrounding mixed-use and residential development.

### Recommendations

Nonresidential uses in Lake Commercial should have a minimum lot size of one acre to ensure compatibility and buffering from more sensitive uses. Nonresidential uses should provide an appropriate amount of parking and landscaping and should utilize stormwater control facilities that prevent transmission of surface runoff directly into the lake.

Residential uses should vary in lot size and type to ensure adjacent commercial uses are supported by nearby residences. Housing developments in Lake Commercial should be focused on recreation and trail connectivity to the lake and surrounding businesses. Since housing developments are anticipated to be higher density than other residential land use designations, it is recommended that residential development be limited to 15 percent of Lake Commercial areas. Limiting the buildable residential area will prevent an over-proliferation of housing development that may put a strain on the available transportation and service network in the Lake Planning Area.

Desirable



Undesirable





## UTRWD PROPERTY/RIPARIAN AREA

### Vision

The vision for this land use type is to support the operation of the lake as a reservoir and recreational area. Land with this designation is currently owned or operated by UTRWD. Its purpose is to allow for safe and efficient reservoir operations.

### Recommendations

As its primary function, this land use should be used to support the operation of the reservoir, which includes office buildings, infrastructure, and any other uses needed for the lake to function. It is anticipated that some of the areas will remain undeveloped in the immediate future, and major changes to the ownership of the land are not anticipated. Some of the properties within this land use category could be used as recreational opportunities, such as public access areas or private property access. Notably, site evaluation is necessary to determine if land is suitable for recreational needs and to ensure that the primary function – supporting reservoir operations – is not compromised in any fashion. To the extent property currently owned by UTRWD is determined unnecessary for reservoir operation following the construction of Lake Ralph Hall, such property could potentially be sold and converted to some other use that is consistent with adjacent land uses and the Comprehensive Plan. The Comprehensive Plan could then be revised to reflect this change in use.



## What is the UTRWD Property/Riparian Area?

Generally, the property provides land for the lake, contains floodwaters to minimize the loss of life and private property, provides for the required wetland mitigation as part of the Federal permitting process, and establishes land for the dam and its operations.

When UTRWD purchased land for the above reasons, in some cases, extra land was acquired when landowners wanted to sell their entire properties rather than splitting property and having a remaining tract.

## What are common benefits of riparian areas?

- » Riparian areas protect water quality by reducing sources of pollution and filtering out sediment, nutrients, and harmful chemicals.
- » Riparian areas reduce shoreline erosion by providing rooted vegetation that holds soil and sediment in place.
- » Riparian areas provide shade for aquatic species and serve as movement corridors for wildlife migration.



## GOVERNMENT OWNERSHIP/ WATERSHED PROTECTION AREA

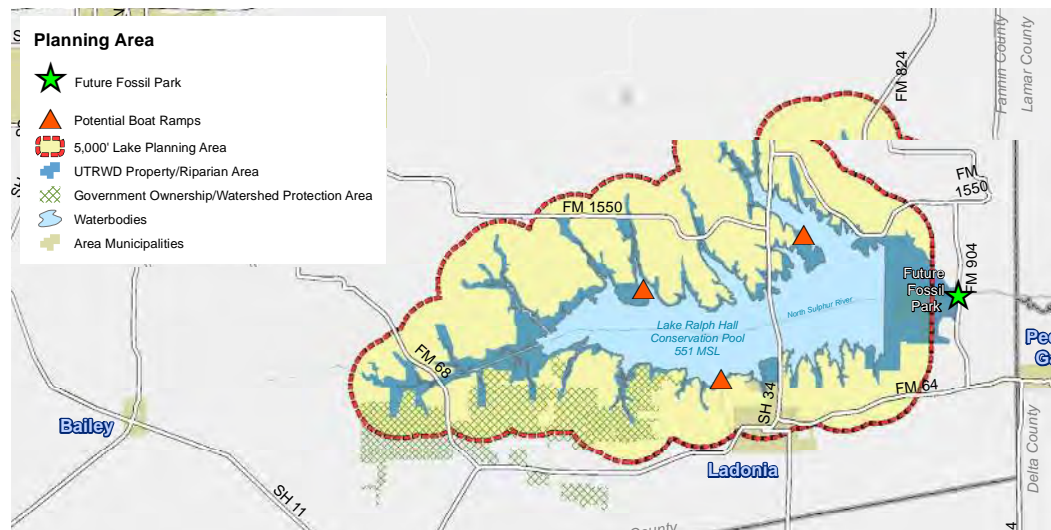
### Vision

This category consists of the Caddo Grasslands and land owned by UTRWD for watershed protection. The Caddo Grasslands is an open prairie and wooded land area administered by the U.S. Forest Service and managed by Texas Parks and Wildlife Department. The grassland is available year round to the public, and provides recreational activities such as camping, fishing, hiking, and hunting.

### Recommendations

This area should be preserved in a natural state to prevent damaging erosion or runoff into nearby waterbodies.

Map 23. Government Ownership/Watershed Protection Area



## INSTITUTIONAL

### Vision

This institutional category is for governmental, institutional or religious land uses. Land uses in this category may include community facilities, schools, fire/police stations, County buildings, cemeteries or land used for a public utility.

### Recommendations

The County should use this land use category to plan for future County facilities or infrastructure.





## POTENTIAL PUBLIC ACCESS AREAS

### Vision

Public access areas are either recreational or public areas that residents and visitors may access around the lake. Public access areas are envisioned to provide both passive and active recreational opportunities to visitors. The locations shown on the Future Land Use Map (others may be added in the future) are designated as appropriate areas to be accessed by the public that will not interfere with operations of the lake or impact the water quality of the lake.

### Recommendations

These areas should be developed to provide a superior recreation system for residents and create a regional destination for tourists. The implementation of these areas will require strategic partnerships with various entities in Fannin County. All recreational areas should be well maintained and designed to protect the natural environment of Fannin County.

### Desirable



### Undesirable



# GROWTH ANALYSIS

## ULTIMATE CAPACITY

The ultimate capacity, or build out, of the Future Land Use Map refers to the number of people that could live within the planning area if the area were to develop exactly as it is portrayed. The reality is that many changes will likely occur to the Future Land Use Map over time, and the planning area encompasses a large amount of vacant land that will take generations to develop. Therefore, the ultimate capacity is primarily used for planning purposes and helps to put numbers behind the colors on the map in terms of how many people could live within the area.

The ultimate capacity of the study area provided in Table 12 is calculated by taking the vacant acres that are designated for future residential development, removing anticipated right-of-way (ROW) needed to serve the development, and multiplying by the recommended dwelling units per acre (DUA), current persons per household (PPH) and current occupancy rates to calculate how many new residents the Future Land Use Plan can accommodate. Adding the number of new residents to the existing population derived from the existing lots yields the ultimate capacity.

Table 12. Ultimate Capacity for the Study Area

FLUM Residential Category	Vacant Acres	ROW	DUA	Occu-pancy Rate	PPH	Housing Units (Vac. Acres-ROW x DUA)	Households (Units x Occ. Rate)	Population (Households x PPH)
Rural Residential (Min. 3 AC Lots)	10,528	10%	0.33	98%	2.94	3,127	3,064	9,009
Large Lot Residential (Min. 1 AC Lots)	6,422	10%	1	98%	2.94	5,780	5,665	16,654
Medium Lot Residential (Min. 0.5 AC Lots)	283	30%	2	98%	2.94	396	388	1,140
Lake Commercial	59*	20%	24	98%	2.94	1,141	1,118	3,287
Future Population						10,444	10,235	30,090
2021 Population in the Lake Planning Area								1,044
Ultimate Capacity								31,134

ROW = Right-of-Way; DUA = Dwelling Units per Acre; PPH = Persons per Household; Vac. Acres = Vacant Acres; Occ. Rate = Occupancy Rate

\* Residential development proposed to only be permitted for 15% of Lake Commercial area, which results in 59 acres out of 396 vacant Lake Commercial acres.

Source: Freese and Nichols, Inc. Population Projections



# GROWTH PROJECTION

The population in the Lake Planning Areas in 2021 was 1,044. This number was used as the baseline for the population projections in Table 13. If the County continues to grow at its historical compounding annual growth rate (CAGR) of 1 percent, it is estimated to reach a population of 1,326 in 2045. If the County grows at a more aggressive pace of 2 percent, the County can anticipate a population of 1,679 in 2045. Given the expected growth in the County from the lake, a 1.5 percent growth rate is a more conservative estimate for the future. At this rate, the County can anticipate a population of 1,492 in 2045.

It is essential to compare the ultimate population capacity planned in the Future Land Use Map (Table 12) with the projected growth (Table 13) to verify that Future Land Use Map can accommodate the anticipated growth in the future. This projection demonstrates that the residential density recommended in the Future Land Use Map is more than capable of accommodating the projected growth within the study area whether the population grows at either the lowest growth rate (1 percent) or most aggressive rate (2 percent).

Table 13. Growth Projection Scenarios

	Scenario 1	Scenario 2	Scenario 3
Compounding Annual Growth Rate (CAGR)	1.0%	1.5%	2.0%
2021 Population Estimate in the Lake Planning Area	1,044	1,044	1,044
2045 Projected Population	1,326	1,492	1,679
Increase	+282	+448	+635

Source: Freese and Nichols, Inc. Population Projections



Undeveloped land in Fannin County

# TRANSPORTATION PLAN

## INTRODUCTION

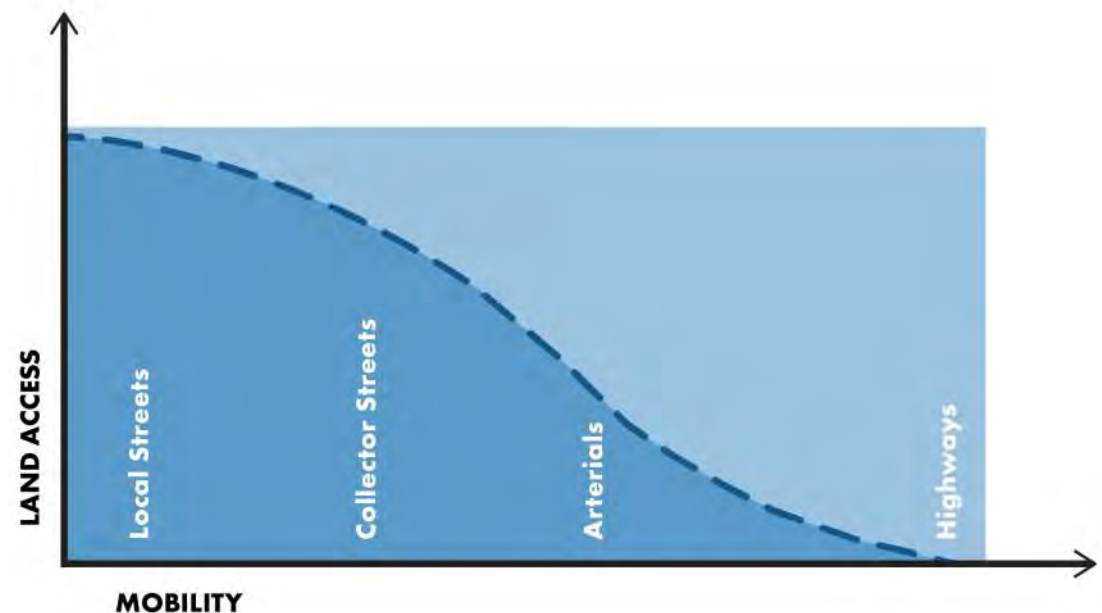
The thoroughfare system forms one of the most visible and permanent elements in a community. It establishes the framework for community growth and development and, along with the Future Land Use Plan, forms a long-range statement of public policy. As the alignment and right-of-way of major transportation facilities are established and adjacent property is developed, it is difficult to facilitate system changes without significant financial impacts. However, by incorporating programmed land uses and planning for future roadway needs, strategies that maximize the land use and transportation relationship can be developed. More specifically, the transportation system should:

- » Provide mobility and accessibility at appropriate levels,
- » Expand as needed to meet the demands of the area's anticipated development,
- » Be economically feasible for the citizenry and the County, and
- » Be correlated with regional considerations.

The traditional functional classification of a thoroughfare system include:

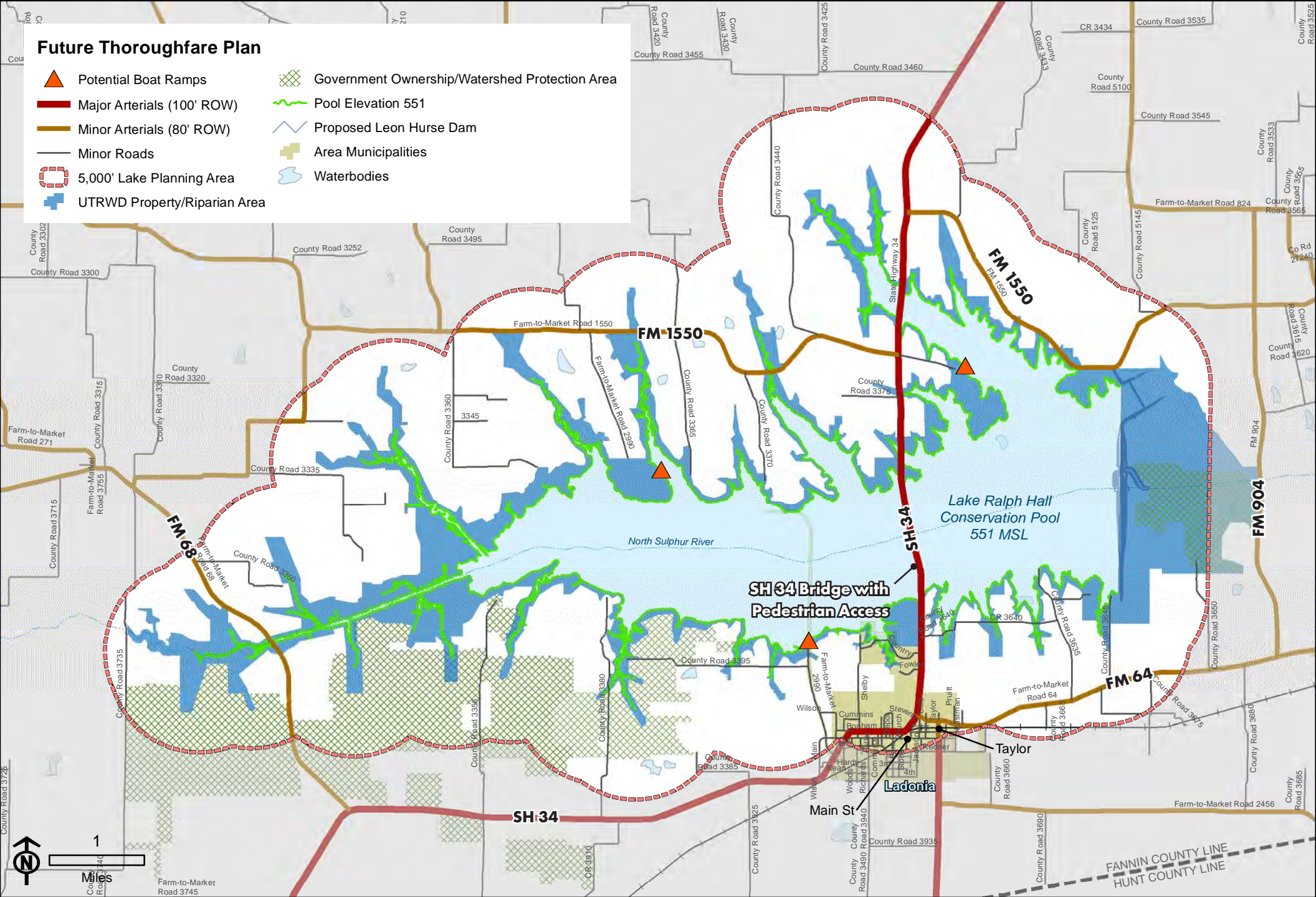
- » Highways,
- » Arterials,
- » Collector Streets, and
- » Local Streets

Figure 15. Roadway Hierarchy and Functional Diagram



# Future Thoroughfare Plan

-  Potential Boat Ramps
-  Major Arterials (100' ROW)
-  Minor Arterials (80' ROW)
-  Minor Roads
-  5,000' Lake Planning Area
-  UTRWD Property/Riparian Area
-  Government Ownership/Watershed Protection Area
-  Pool Elevation 551
-  Proposed Leon Hurse Dam
-  Area Municipalities
-  Waterbodies



Map 24. Future Thoroughfare Plan

## PROPOSED ROADWAY NETWORK

The major roadways currently surrounding the Lake Ralph Hall area are:

- » FM 1550 (TxDOT Roadway) - 80' Existing ROW
- » FM 904 (TxDOT Roadway) - 100' Existing ROW
- » FM 64 (TxDOT Roadway) - 80' Existing ROW
- » SH 34 (TxDOT Roadway) - 80' Existing ROW
- » FM 68 (TxDOT Roadway) - 80' Existing ROW

Several roadway improvements were required for the construction of Lake Ralph Hall. A summary of roadway modifications is discussed in "Roadway Impacts" in "Chapter 1 Baseline Analysis". The most notable roadway improvement is the construction of the SH 34 Bridge, which extends from FM 1550 on the north to FM 34 on the south. The bridge will enhance north-south connectivity and provide a pedestrian bridge for pedestrians and cyclists separated from vehicle travel lanes. Another major roadway improvement is the realignment of FM 1550 and the closing of FM 2990.

Map 24 is the final roadway configuration within the Lake Ralph Hall Planning Area. The major arterials are planned for 100' of right-of-way, and the minor arterials are planned for 80' right-of-way at full build-out. The Future Thoroughfare Plan should be updated if any modifications are proposed in the future.



Construction of the SH 34 Bridge in August 2021



Rendering of the SH 34 bridge



Photo Credit: Flatiron Constructors

Construction of SH 34 Bridge in November 2021





# CHAPTER 4 WATER QUALITY & INFRASTRUCTURE

**Water Quality** 90

**Water & Wastewater Planning** 94

# WATER QUALITY

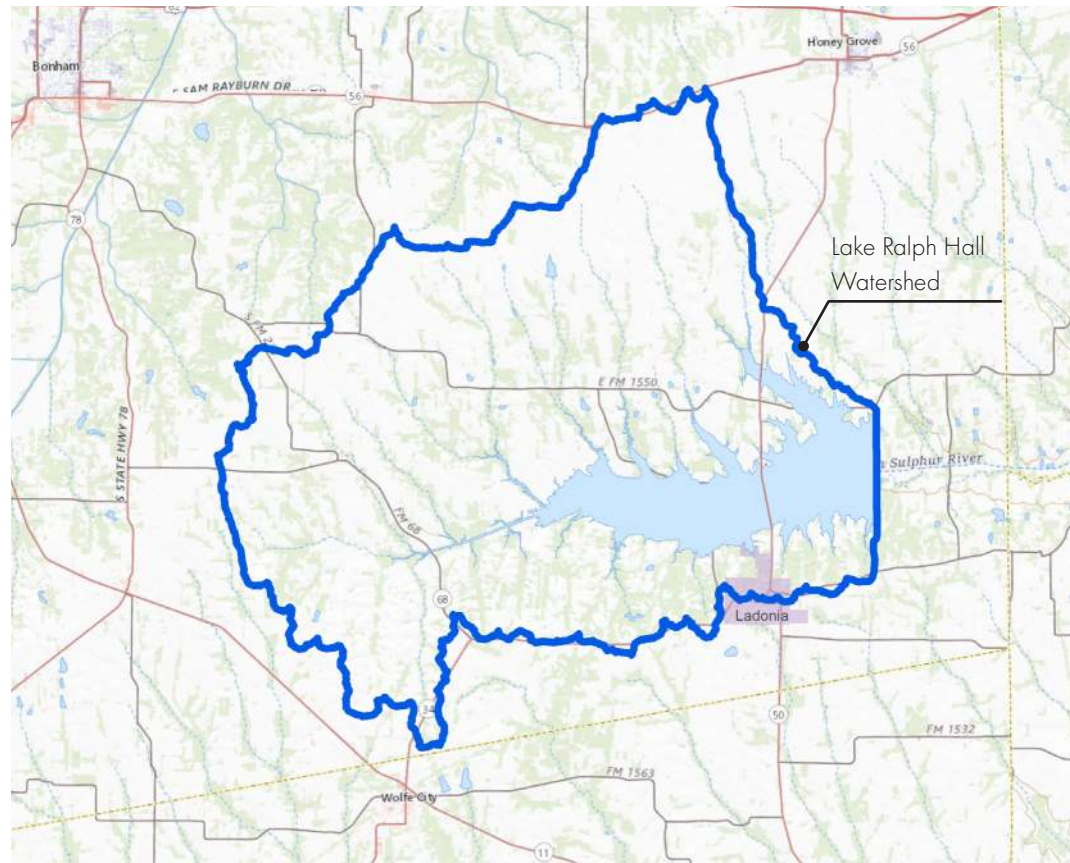
## MAINTAINING HEALTHY WATER QUALITY IN LAKE RALPH HALL

Lake Ralph Hall will serve as a source of drinking water for residents of North Texas. Lake Ralph Hall will meet water needs in North Texas and provide local benefits such as fishing and boating, and to support aquatic life, water quality must remain healthy. To protect water quality in Lake Ralph Hall and the natural beauty of the surrounding area for generations to come, the biological processes and human activities within the lake's watershed need to be managed properly and sustainably.

A watershed is all the land area that drains to a common waterway, such as a creek, river, or lake. As rain falls on a watershed, water flows across the land surface, infiltrates into the ground, or evaporates. Watersheds can vary in size and shape. The Lake Ralph Hall watershed is approximately 64,093 acres and is in the Sulphur River Basin (Map 25). Existing land uses include farms, ranches, neighborhoods, roads, and industrial/commercial areas.

Natural processes, such as water and nutrient movement through soils, and human activities, like construction, can influence water quality and quantity within a watershed, ultimately, in the receiving water body, such as Lake Ralph Hall. As rain falls, water that doesn't infiltrate into the ground will flow across the land surface as runoff and may pick up pollutants present on different land uses

Map 25. Lake Ralph Hall Watershed





within the watershed. Examples of contaminants include sediment, nutrients, chemicals (from fertilizers, pesticides, and herbicides), bacterial contamination (from on-site sewage facilities, feral hogs, livestock, and wildlife), illegal dumping, and improper trash disposal.

A concern for Lake Ralph Hall is sediment that has eroded from the watershed and creeks that flow into the lake. High sediment levels can cause unsightly water, and various pollutants, such as nutrients, chemicals, and bacteria, can bind to sediment particles that can negatively affect water quality. Excess sediment can also lead to infilling of the lake, reducing the amount of water that the lake can hold.

Best Management Practices (BMPs) are cost-effective measures that prevent pollution or help restore good water quality. The BMPs listed in this chapter are known to be highly effective at protecting water quality and will serve as a guide for the future development of a Watershed Protection Plan for Lake Ralph Hall by Fannin County, City of Ladonia, Upper Trinity Regional Water District, area residents and other stakeholders. Educational activities and resources will be provided for each of the BMPs recommended in this chapter.

### **Development Activity**

As new development is anticipated during and after construction of Lake Ralph Hall, certain measures will help limit the impact of impervious surfaces (for example, rooftops and concrete surfaces) and protect areas close to waterways. Additional BMPs by homeowners, residential developers, industrial, commercial and institutional properties will ensure routine activities are done in a way that protects water quality in Lake Ralph Hall. When the County adopts the Watershed Protection Plan (to be developed in the future), that will become the official policy direction for the County to implement these key elements.

Below are BMPs for new development activity:

- » Encourage low impact development techniques to manage stormwater volumes and protect water quality by filtering pollutants collected through runoff. Examples include bioswales, permeable pavement, rainwater harvesting, and rain gardens.
- » Encourage conservation or cluster developments that set aside 50 percent of a site as open space. Cluster development should dedicate a conservation easement to a non-county entity to preserve open space long term.
- » Limit clearing and grading, especially in areas close to waterways.
- » Discourage mowing or other vegetation removal activities within 50 feet of a waterway or water body unless associated with dock placement or other improvements within the UTRWD Property/Riparian Area. The buffer may be wider if necessary to create and maintain vegetated stream buffers to protect water quality.

- » Encourage homeowners to regularly maintain on-site septic systems and to repair or replace failing systems according to local regulations. New residential developments with lot sizes less than one acre should connect to a centralized sewer system.
- » Encourage the use of native plants and mulch for landscaping, and discourage the use of fertilizers, herbicides, pesticides, and other outdoor chemicals.
- » Encourage residents to pick up their pet's waste and dispose of it in a proper trash receptacle.



**Encourage low impact development, such as bioretention basins, to remove contaminants from stormwater runoff**



**Encourage more open space within new residential subdivisions**



**Limit clearing and grading near the Lake Ralph Hall**

## Recreational and Other Activities

Lake Ralph Hall will provide recreational opportunities for many, including boating, fishing, walking, and more. Residents and visitors to the area should follow the items below and be responsible for any items they bring to keep the Lake and the recreational areas clean. Below are BMPs for recreational activities:

- » Prohibit illegal dumping and improper disposal of litter on the Lake and recreational areas and coordinate with Fannin County Sheriff's office to enforce illegal dumping regulations. Coordinate with partners to provide adequate trash receptacles and regularly collect and dispose of trash bags.
- » Encourage visitors to pick up their pet's waste and dispose of the waste in trash receptacles.
- » Prevent the introduction of invasive zebra mussels and aquatic plants into the Lake by ensuring boaters have adequately cleaned, drained and dried their boat, trailer and equipment prior to arriving at the Lake.
- » Prohibit sewage disposal from a boat pursuant to Texas Water Safety Act of 2019.
- » The development and implementation of a Watershed Protection Plan for Lake Ralph Hall by Fannin County, City of Ladonia, Upper Trinity Regional Water District, area residents and other stakeholders will be a key element to ensure Lake Ralph Hall not only meets the water needs in North Texas, but also provides local benefits such as fishing, boating and to support aquatic life now and in the future.
- » Encourage regular street and parking lot cleaning.



Trash receptacles near trails and benches

## Agriculture

Farming and ranching are essential to the livelihood of many in Fannin County. The agricultural BMPs below help to protect water quality by reducing erosion and preventing bacteria and chemical pollutants from washing into the nearest waterways. Below are BMPs for agricultural activities:

- » Vegetation should be allowed to grow for a minimum of 50 feet from any waterway to prevent bank erosion. Row-crop farming is discouraged within this area. A separated riparian pasture could be established for livestock, but should not be grazed as frequently as other areas.
- » Encourage livestock producers to not exceed the stocking rate for their property and to practice rotational grazing to avoid overgrazing and erosion.
- » Encourage the use of alternative shade and water structures to limit the amount of time that livestock spend near waterways.
- » Encourage no-till, cover crops, and other practices to reduce erosion and improve soil health on row-crop farm fields.
- » Encourage farmers to implement an Integrated Pest Management plan that utilizes multiple strategies for combating weeds and pests. Encourage farmers regularly test soil samples to determine proper fertilization needs. Using agricultural chemicals within 50 feet of a waterway is highly discouraged.
- » Encourage removal of feral hogs from the watershed through various legal methods and utilize other means to discourage feral hogs from visiting certain areas, such as exclusion fencing around deer feeders.
- » Encourage the use of conservation easements to permanently preserve natural or agricultural land, especially in the riparian and floodplain areas of the Lake's watershed.
- » Encourage landowners to seek technical and financial assistance to implement previously listed practices that will improve agricultural productivity and enhance wildlife habitat. Assistance can be sought from the Natural Resources Conservation Service, Texas Parks and Wildlife Department, and other agencies and non-governmental organizations.



# WATER & WASTEWATER PLANNING

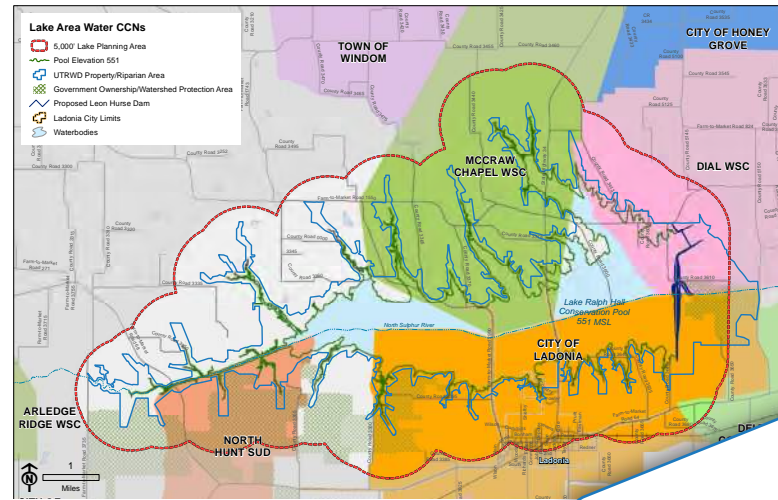
## INTRODUCTION

The construction of Lake Ralph Hall is anticipated to significantly impact the existing built and natural environment, influencing future population growth and development. With an increase in population comes an increased demand for infrastructure, including water connections and wastewater flow. The purpose of this section is to provide an analysis of the projected population and subsequent utility demand for McCraw Chapel WSC, Dial WSC, and City of Ladonia CCNs in the Planning Area. A Certificate of Convenience and Necessity (CCN) grants the holder exclusive rights to provide retail water or sewer utility service to an identified geographic area.

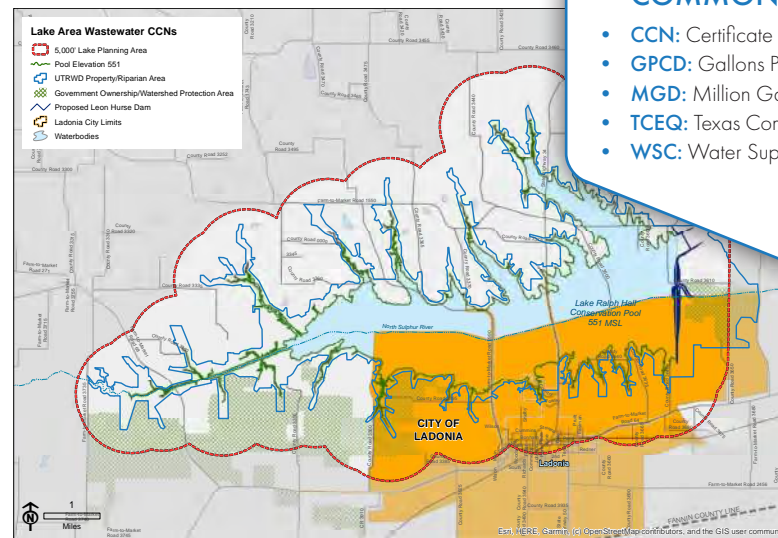
Based on the land use densities recommended in the Future Land Use Map, the population within the Planning Area is projected to increase by approximately 30,000 people (see page 82). Accommodating this growth efficiently and cost-effectively is paramount to local water and wastewater CCN operators and users; these projections may be used for prioritizing service improvements. The following analysis includes population estimates for each CCN using the Future Land Use Map.

Water demand is projected using a range of assumed total water demand of 140 to 200 gallons per capita per day (gpcd). This assumption is consistent with industry standards for per capita water demands, which range from about 100 gpcd to 250 gpcd depending on anticipated development. A peak factor of 2.4 was also applied to project maximum daily water demands in Million Gallons per Day (MGD); this multiplier was selected pursuant to the Texas Commission on Environmental Quality's (TCEQ) guidelines when historical data is absent.

Similarly, wastewater flow projections for the City of Ladonia Wastewater CCN used a flow of 120 gpcd within the Planning Area. Wastewater flow assumptions are typically lower than water demand assumptions to account for water loss to the environment. A peak factor of 4.0 was applied to project maximum daily flow in MGD. This multiplier is also consistent with TCEQ guidelines.



Map 26. Water CCNs









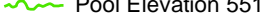










Map 27. Wastewater CCNs

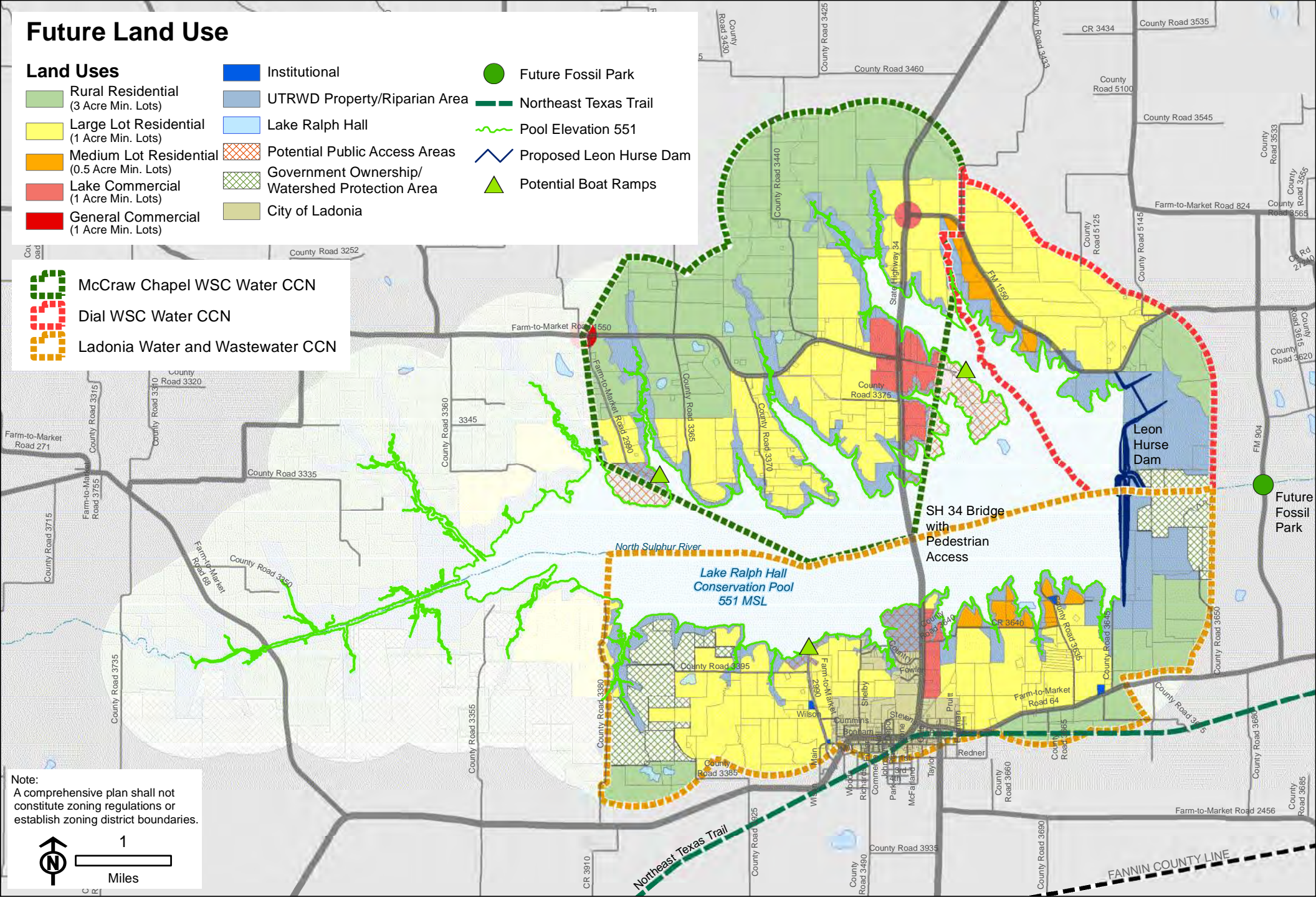
**COMMON ABBREVIATIONS**

- **CCN:** Certificate of Convenience and Necessity
- **GPCD:** Gallons Per Capita per Day
- **MGD:** Million Gallons per Day
- **TCEQ:** Texas Commission on Environmental Quality
- **WSC:** Water Supply Corporation

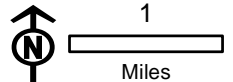
# Future Land Use

- Land Uses**
-  Rural Residential (3 Acre Min. Lots)
  -  Institutional
  -  Future Fossil Park
  -  Large Lot Residential (1 Acre Min. Lots)
  -  Lake Ralph Hall
  -  Northeast Texas Trail
  -  Medium Lot Residential (0.5 Acre Min. Lots)
  -  Potential Public Access Areas
  -  Pool Elevation 551
  -  Lake Commercial (1 Acre Min. Lots)
  -  Proposed Leon Hurse Dam
  -  General Commercial (1 Acre Min. Lots)
  -  Potential Boat Ramps
  -  City of Ladonia

-  McCraw Chapel WSC Water CCN
-  Dial WSC Water CCN
-  Ladonia Water and Wastewater CCN



**Note:**  
A comprehensive plan shall not constitute zoning regulations or establish zoning district boundaries.



Map 28. Future Land Use by CCN

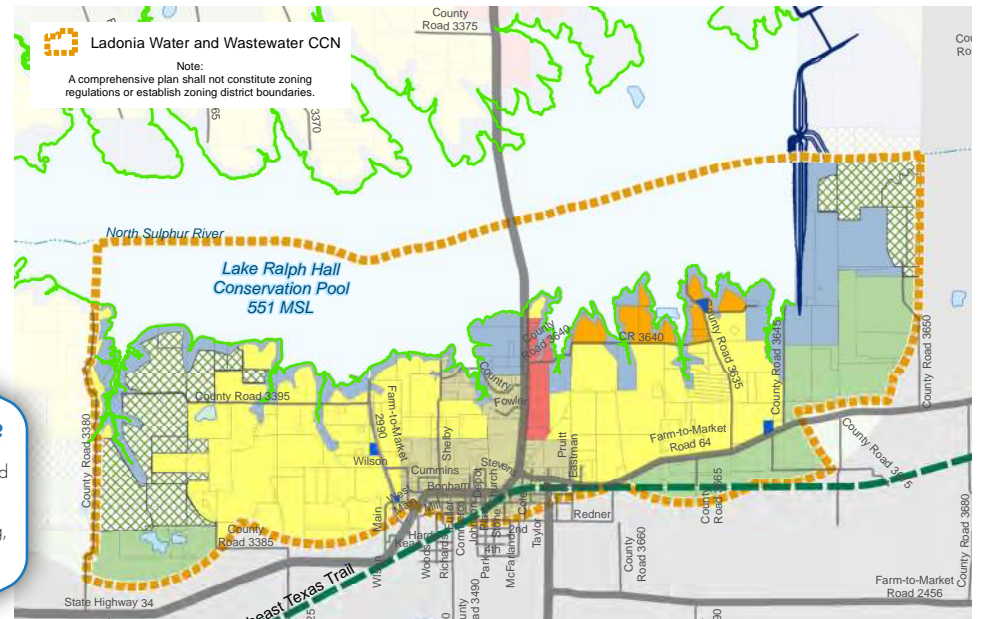
## CITY OF LADONIA WATER CCN

The City of Ladonia Water CCN encompasses the Ladonia City Limits and other properties along the southern shore of Lake Ralph Hall. Vacant properties within the Planning Area outside the Ladonia City Limits are primarily designated as Large Lot Residential. Using the City of Ladonia's Future Land Use Plan (see Appendix 20), vacant residential properties within the city limits will develop using minimum lot sizes of 7,200 square feet.

Should the vacant properties within the limits of the CCN develop at the maximum densities assigned by the Future Land Use Plan, the ultimate population will be approximately 13,067 people. Using the 140 to 200 gpcd range assumptions, **the average daily water demand within the Ladonia Water CCN at build-out will be between 1.83 and 2.61 MGD. The maximum daily water demand will be between 4.39 and 6.27 MGD.**

### WHAT IS WATER SERVICE?

Water service includes all water pumped to a property for private use. Private water is used for consumption, plumbing, cleaning, and property maintenance.



Map 29. City of Ladonia Water and Wastewater CCN Future Land Use

FLUM Residential Category	Vacant Acres	ROW	DUA	Occ. Rate	PPH	Housing Units (Vac. Acres-ROW x DUA)	Households (Units x Occ.)	Population (Households x PPH)	Water Demand per Capita (gpcd)	Average Day Water Demand (MGD)	Maximum Day Water Demand (MGD)
Rural Residential	1,005	10%	0.33	98%	2.94	298	293	860	140–200	0.12–0.17	0.29–0.41
Large Lot Residential	2,314	10%	1	98%	2.94	2,083	2,041	6,000	140–200	0.84–1.20	2.02–2.88
Medium Lot Residential	133	30%	2	98%	2.94	186	182	536	140–200	0.08–0.11	0.18–0.26
Lake Commercial	8*	20%	24	98%	2.94	161	158	465	140–200	0.07–0.09	0.16–0.22
City of Ladonia	371	30%	6	98%	2.94	1,558	1,527	4,489	140–200	0.63–0.90	1.51–2.15
Future Population in the Ladonia Water CCN						4,286	4,201	12,350	140–200	1.73–2.47	4.15–5.93
2021 Population in the Ladonia Water CCN								717	140–200	0.10–0.14	0.24–0.34
Ultimate Population								13,067	140–200	1.83–2.61	4.39–6.27

ROW = Right-of-Way; DUA = Dwelling Units per Acre; PPH = Persons per Household; Vac. Acres = Vacant Acres; Occ. Rate = Occupancy Rate

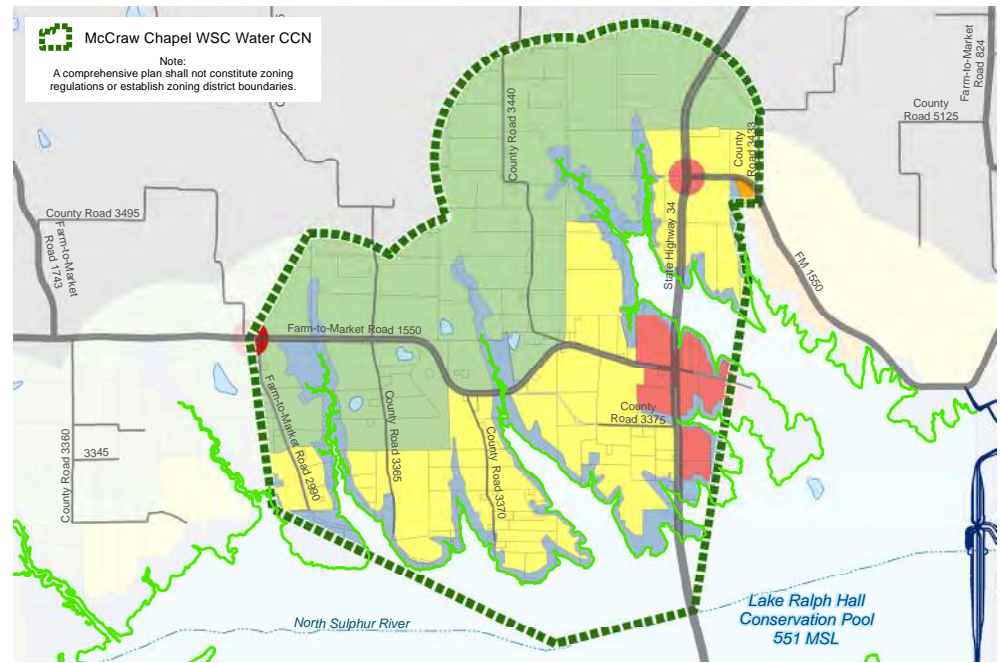
\* Residential development proposed to only be permitted for 15% of Lake Commercial area, which results in 8 acres out of 56 vacant Lake Commercial acres.

Source: Freese and Nichols, Inc. Population Projections

## MCCRAW CHAPEL WSC WATER CCN

The McCraw Chapel WSC Water CCN covers a large portion of the northern shore of Lake Ralph Hall, including the bulk of Lake and General Commercial land uses identified in the Future Land Use Plan. Likewise, the limitations of the CCN encompass the commercial and public access areas anticipated for regional attractions discussed in Recommendations 1.5 and 1.6 (page 50).

The projections in the table below account for the residential densities assigned by the Future Land Use Plan and typical water demand for commercial development. Should the vacant properties within the limits of the CCN develop at the maximum recommended densities, the ultimate population will be approximately 11,265 people. Using the 140 to 200 gpcd range assumptions, **the average daily water demand within the McCraw Chapel WSC Water CCN at build-out will be between 1.58 and 2.25 MGD. The maximum daily water demand will be between 3.79 and 5.41 MGD.**



Map 30. McCraw Chapel WSC Water CCN Future Land Use

FLUM Residential Category	Vacant Acres	ROW	DUA	Occ. Rate	PPH	Housing Units (Vac. Acres-ROW x DUA)	Households (Units x Occ.)	Population (Households x PPH)	Water Demand-per Capita (gpcd)	Average Day Water Demand (MGD)	Maximum Day Water Demand (MGD)
Rural Residential	3,473	10%	0.33	98%	2.94	1,031	1,011	2,972	140–200	0.42–0.59	1.00–1.43
Large Lot Residential	2,088	10%	1	98%	2.94	1,879	1,842	5,414	140–200	0.76–1.08	1.82–2.60
Medium Lot Residential	16	30%	2	98%	2.94	22	21	63	140–200	0.009–0.013	0.02–0.03
Lake Commercial	48*	20%	24	98%	2.94	920	902	2,652	140–200	0.37–0.53	0.89–1.27
Future Population in the McCraw Chapel Water CCN						3,852	3,776	11,101	140–200	1.55–2.22	3.73–5.33
2021 Population in the McCraw Chapel Water CCN								164	140–200	0.02–0.03	0.06–0.08
Ultimate Population								11,265	140–200	1.58–2.25	3.79–5.41

ROW = Right-of-Way; DUA = Dwelling Units per Acre; PPH = Persons per Household; Vac. Acres = Vacant Acres; Occ. Rate = Occupancy Rate

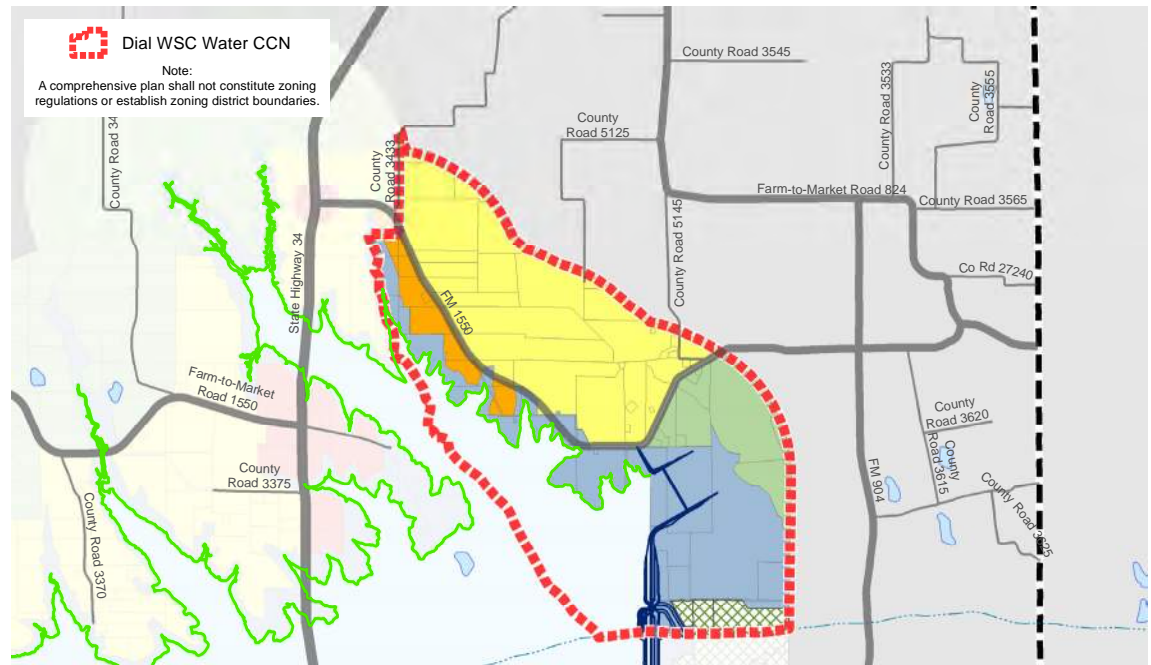
\* Residential development proposed to only be permitted for 15% of Lake Commercial area, which results in 48 acres out of 320 vacant Lake Commercial acres.

Source: Freese and Nichols, Inc. Population Projections

## DIAL WSC WATER CCN

The Dial WSC Water CCN is the smallest within the Planning Area and covers the northeastern shore of Lake Ralph Hall. Properties within this CCN are home to Leon Hurse Dam; these acreages have been excluded from the below table due to a lack of anticipated development. The remaining property covered by Dial Water CCN is primarily designated as Large Lot Residential, which allows for a minimum of one-acre lots.

The ultimate population of the CCN within the Planning Area will be approximately 3,890 people based on the Future Land Use Plan. Using the 140 to 200 gpcd range assumptions, **the average daily water demand within the Dial WSC Water CCN at build-out will be between 0.54 and 0.78 MGD. The maximum daily water demand will be between 1.31 and 1.87 MGD.**



Map 31. Dial WSC Water CCN Future Land Use

FLUM Residential Category	Vacant Acres	ROW	DUA	Occ. Rate	PPH	Housing Units (Vac. Acres-ROW x DUA)	Households (Units x Occ.)	Population (Households x PPH)	Water Demand-per Capita (gpcd)	Average Day Water Demand (MGD)	Maximum Day Water Demand (MGD)
Rural Residential	323	10%	0.33	98%	2.94	96	94	276	140–200	0.04–0.06	0.09–0.13
Large Lot Residential	1,171	10%	1	98%	2.94	1,054	1,033	3,036	140–200	0.43–0.61	1.02–1.46
Medium Lot Residential	134	30%	2	98%	2.94	188	184	541	140–200	0.08–0.11	0.18–0.26
Future Population in the Dial Water CCN						1,338	1,311	3,853	140–200	0.54–0.77	1.29–1.85
2021 Population in the Dial Water CCN								37	140–200	0.005–0.007	0.01–0.02
Ultimate Population								3,890	140–200	0.54–0.78	1.31–1.87

ROW = Right-of-Way; DUA = Dwelling Units per Acre; PPH = Persons per Household; Vac. Acres = Vacant Acres; Occ. Rate = Occupancy Rate

Source: Freese and Nichols, Inc. Population Projections





**LAKE RALPH HALL OPEN HOUSE  
SEPT 14 CITY HALL 3:30 - 7:30  
FRONTIER DAY & BULL FEST SEPT 25  
20 MILE GARAGE SALE OCT 2**

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# CHAPTER 5 IMPLEMENTATION PLAN

Implementation Plan 102

# IMPLEMENTATION PLAN

## INTRODUCTION

Successful plans establish a clear vision for the future and identify the steps necessary to achieve that vision. This section completes the Comprehensive Plan by providing implementation techniques and priorities that address the vision, recommendations, and related policies established herein. This Implementation Plan is structured into a coordinated action program so that County leaders, staff, and other decision-makers can quickly identify the steps necessary to achieve the vision for Lake Ralph Hall. It is also important to note that counties or cities cannot afford to complete all of the desired tasks at once; therefore, it is important to identify the top priorities that are most critical for achieving the vision. Many of these recommendations will take several years to complete, but this plan will help the County to identify action items.

## THE ROLE OF THE COMPREHENSIVE PLAN

### *A Guide for Daily Decision-Making*

Many diverse individuals and groups will be involved in the development of land surrounding the lake. In the future, each new development that takes place represents an addition to the County and the lake area's physical form. The composite of all such efforts creates the County as it is seen and experienced by its citizens and visitors. If planning is to be effective, it must guide each and every individual development decision. The County, in its daily

decisions pertaining to whether to surface a street or draft a zoning ordinance provision, should always refer to the basic concepts outlined within the Comprehensive Plan. Likewise, a private builder or investor should recognize the broad concepts and policies of the Plan so that their efforts become integrated into planning efforts of the Lake Ralph Hall area and the County.

### *Zoning and Subdivision Regulations*

The processes for reviewing and processing zoning amendments, development plans, and subdivision plats provide significant opportunities for implementing the Comprehensive Plan. Each zoning and development decision should be evaluated and weighed against applicable recommendations and policies contained within this Comprehensive Plan. The Plan allows the County to review proposals and requests in light of an officially prepared document adopted through a sound, thorough planning process. If decisions are made that are inconsistent with Plan recommendations, then they should include actions to modify or amend the Plan accordingly in order to ensure consistency and fairness in future decision-making. The zoning ordinance represents a significant measure that the County can take to implement Comprehensive Plan recommendations.

### *A Flexible and Alterable Guide*

The Comprehensive Plan for Lake Ralph Hall is intended to be a dynamic planning document that responds to changing needs and conditions. Major plan amendments should not be made without a thorough analysis of

immediate needs and consideration for the long-term effects of proposed amendments. The County Commissioners, Zoning Commissioners, and other officials should consider each proposed amendment carefully to determine whether it is consistent with the Plan's goals and policies and whether it will benefit the long-term health and vitality of the Lake Ralph Hall area.

### *Annual Reviews*

At one-year intervals, a periodic review of the Plan concerning current conditions and trends should be performed. Such ongoing, scheduled evaluations will provide a basis for adjusting capital expenditures and priorities and reveal changes and additions that should be made to the Plan to keep it current and applicable long-term. It would be appropriate to devote one annual meeting of the Zoning Commission to review the status and continued applicability of the Plan in light of current conditions. By such periodic evaluations, the Plan will remain functional and give civic leaders practical guidance in decision-making. During reviews, consideration should be given to the following:

- » The County's progress in implementing the Plan;
- » Community support for the Plan's goals and recommendations;
- » Changes in County officials policies and priorities; and
- » Changes in State laws.



## THE IMPLEMENTATION MATRIX

The implementation matrix organizes the Plan Recommendations from Chapter 2, and prioritizes them into short and long-term goals or on-going action items. The implementation matrix also assigns the entity responsible for completing each goal or on-going task. The short-term goals should be completed in one year, and long-term goals should be completed within a three year time frame. On-going action items do not have a timeframe because these are actions that the responsible entity should do on a more frequent basis, such as during the review of development proposals.

Guiding Principles	Plan Recommendations	Pg.	Priority Ranking	Implementation Mechanism	Responsible Entity
Guiding Principle 1. Economic Development	<b>Recommendation 1.1.</b> Focus on developing key areas for tourism opportunities to increase the County's sales tax revenue.	Pg. 46	On-Going	Zoning & Subdivision Regulations	Fannin County
Guiding Principle 1. Economic Development	<b>Recommendation 1.2.</b> Ladonia Fossil Park should be developed and marketed as a tourist destination for people from all over the state with a focus on the DFW area.	Pg. 46	Long-Term	Economic Development Strategy	Partnership (Fannin County/City of Ladonia)
Guiding Principle 1. Economic Development	<b>Recommendation 1.3.</b> Promote the development of the Northeast Texas Trail as a unique opportunity in the state and capitalize on development and branding opportunities.	Pg. 47	Long-Term	Economic Development Strategy	Partnership (Fannin County/City of Ladonia)
Guiding Principle 1. Economic Development	<b>Recommendation 1.4.</b> Plan for commercial and sales tax generating uses to be located around the lake and in the City of Ladonia to help fund municipal type services to the new development, such as water/wastewater services, emergency services, and road maintenance.	Pg. 49	On-Going	Zoning & Subdivision Regulations	Partnership (Fannin County/City of Ladonia)
Guiding Principle 1. Economic Development	<b>Recommendation 1.5.</b> Market the intersection of FM 1550 and SH 34 as a regional amenity and development opportunity to attract a higher tax revenue generator.	Pg. 50	On-Going	Economic Development Strategy	Fannin County
Guiding Principle 1. Economic Development	<b>Recommendation 1.6.</b> Work collaboratively with UTRWD to develop the Public Access Area at the intersection of FM 1550 and SH 34 as an asset to the community that compliments the vision of the surrounding area.	Pg. 50	Short-Term	County Policy/ Partnership	Partnership (UTRWD/Fannin County)
Guiding Principle 2. Quality of Life	<b>Recommendation 2.1.</b> Encourage life cycle housing to ensure the long-term viability and sustainability of neighborhoods.	Pg. 51	Short-Term	Zoning & Subdivision Regulations	Fannin County
Guiding Principle 2. Quality of Life	<b>Recommendation 2.2.</b> Implement the hike and bike trail system to increase connectivity and access to the County's recreational amenities.	Pg. 51	On-Going	Zoning & Subdivision Regulations/County Bond Program	Fannin County
Guiding Principle 2. Quality of Life	<b>Recommendation 2.3.</b> Promote quality developments that are designed as gathering places or destinations for families and tourists to visit and spend time.	Pg. 52	On-Going	Zoning & Subdivision Regulations	Fannin County
Guiding Principle 2. Quality of Life	<b>Recommendation 2.4.</b> Adopt manageable zoning boundaries that are equitable and easily enforceable.	Pg. 53	Short-Term	Zoning & Subdivision Regulations	Fannin County
Guiding Principle 2. Quality of Life	<b>Recommendation 2.5.</b> Implement zoning regulations similar to those established for Bois d'Arc Lake to govern transparently and consistently throughout the County.	Pg. 55	Short-Term	Zoning & Subdivision Regulations	Fannin County

Guiding Principles	Plan Recommendations	Pg.	Priority Ranking	Implementation Mechanism	Responsible Entity
Guiding Principle 3. Quality Development	<b>Recommendation 3.1.</b> Incorporate design standards for conservation design to maximize opportunities to develop private property while maintaining the County's rural character.	Pg. 55	Short-Term	Zoning & Subdivision Regulations	Fannin County
Guiding Principle 3. Quality Development	<b>Recommendation 3.2.</b> Adopt nonresidential design enhancements to ensure quality development.	Pg. 56	Short-Term	Zoning & Subdivision Regulations	Fannin County
Guiding Principle 3. Quality Development	<b>Recommendation 3.3.</b> Adopt development standards for manufactured homes and RV parks.	Pg. 59	Short-Term	Zoning & Subdivision Regulations	Fannin County
Guiding Principle 3. Quality Development	<b>Recommendation 3.4.</b> Protect major viewsheds of the lake (i.e., SH 34) to preserve the natural beauty of the lake by prohibiting outside storage, pole signs and undesirable development near the major corridors of the lake.	Pg. 63	Long-Term	Zoning & Subdivision Regulations	Fannin County
Guiding Principle 4. Safety	<b>Recommendation 4.1.</b> Adopt a Safety Management Plan 1) to identify potential lake hazards, 2) to determine the availability and capacity for fire, EMS, and law enforcement, and 3) to determine additional emergency equipment to respond to future lake hazards.	Pg. 64	Long-Term	County Policy	Partnership (UTRWD/Fannin County/TPWD)
Guiding Principle 4. Safety	<b>Recommendation 4.2.</b> As the lake develops, partner with UTRWD to find opportunities where emergency responders could locate facilities and equipment on suitable UTRWD properties or potentially share facilities to enhance emergency service operations.	Pg. 64	On-Going	Partnership	Partnership (UTRWD/Fannin County/TPWD)
Guiding Principle 4. Safety	<b>Recommendation 4.3.</b> Develop a relationship with the Fannin County Sheriff's office, local constables, Texas Parks and Wildlife Department (TPWD), and the City of Ladonia to coordinate law enforcement efforts around the lake based on the 2008 contract between Fannin County and UTRWD and the 2004 contract between the City of Ladonia and UTRWD.	Pg. 65	Long-Term	Partnership	Partnership (Fannin County/City of Ladonia/TPWD)
Guiding Principle 5. Natural Preservation	<b>Recommendation 5.1.</b> UTRWD to create a Lake Ralph Hall Shoreline Management Plan to establish development standards for private and public uses along the shoreline and within the UTRWD Property/Riparian Area.	Pg. 66	Short-Term	UTRWD Policy	UTRWD
Guiding Principle 5. Natural Preservation	<b>Recommendation 5.2.</b> Establish building setbacks of 25 feet from the UTRWD Property/Riparian Area to ensure buildings have a reasonably safe distance from the lake operations.	Pg. 67	Short-Term	Zoning & Subdivision Regulations	Fannin County
Guiding Principle 5. Natural Preservation	<b>Recommendation 5.3.</b> Establish development standards for development near all creeks in the Planning Area boundary in an effort to protect water quality and to enhance the aesthetic quality of the lake's natural features.	Pg. 67	Long-Term	County Policy	Partnership (UTRWD/Fannin County)
Guiding Principle 5. Natural Preservation	<b>Recommendation 5.4.</b> Publish Best Management Practices (BMPs) for agricultural activities within the Lake Ralph Hall Planning Area to protect water quality.	Pg. 68	Short-Term	Zoning & Subdivision Regulations	Fannin County
Guiding Principle 5. Natural Preservation	<b>Recommendation 5.5.</b> Encourage low impact development to manage stormwater and protect water quality.	Pg. 68	Short-Term	Zoning & Subdivision Regulations	Fannin County







# I APPENDIX



September 10, 2013

The Honorable Creta L. ("Sparky") Carter II  
Fannin County Judge  
101 E. Sam Rayburn Dr., Ste. 101  
Fannin County Courthouse  
Bonham, TX 75418

Re: Lake Ralph Hall / Coordination

Dear Judge Carter:

Your taking the time to participate in the meeting with Representative Larry Phillips on September 4 was very much appreciated. Proposed Lake Ralph Hall, and the associated opportunities it will afford, are worthy topics for coordination at the highest level. Both Fannin County and Upper Trinity need to stay engaged and focused, to assure that the shared vision expressed in our mutual agreement dated March 24, 2008 will be achieved. As the contract states, "Lake Ralph Hall is expected to be a magnet for economic development." What an opportunity for Fannin County! Your continued leadership during planning and development of the Lake will make a big difference.

As reiterated in the meeting, you can count on Upper Trinity to be a reliable partner with Fannin County and the City of Ladonia to assure that Lake Ralph Hall will be a dependable water supply resource, with major opportunities for economic development. By contract, Upper Trinity is committed to working with Fannin County . . . to enable economic development of high quality in the vicinity of the Lake' - - and we will remain steadfast.

Unlike many other lakes owned by third parties, where the water utility merely stores water until needed, Upper Trinity will own, manage and operate Lake Ralph Hall. Therefore, we will have the attendant motivation to be a good neighbor . . . to protect and promote the Lake's assets . . . to enhance quality of life for local citizens and property owners . . . and, to contribute to the local economy. The existing contract between Fannin County and Upper Trinity provides for a continuing relationship that will help secure these mutual goals.

Specifically, I want to reaffirm certain matters we discussed in the meeting with Representative Phillips.

- The TCEQ has scheduled a hearing on September 24 to consider its decision on approval of the pending water rights permit for Lake Ralph Hall. We would be most honored if you can arrange to be present to show your leadership and support on this very important occasion.

Upper Trinity Regional Water District  
101 E. Fannin County Judge Carter Hall  
101 E. Sam Rayburn Dr. - Bonham, TX  
September 10, 2013  
Page 2 of 2

- The separate permit (Section 404) from the US Army Corps of Engineers is still pending. We are continuing to coordinate with the Corps to minimize any restrictions that could unduly complicate development of the Lake and the adjacent property.
- Upper Trinity is an advocate for high quality development around and adjacent to the Lake. Subject to provisions of the state and federal permits, we will provide for lake access by the public and by adjacent property owners - - including boat docks according to master plans that will be developed with County participation. We remain steadfast in our resolve that Lake Ralph Hall will be "development friendly."
- We look forward to joint planning activities scheduled to get underway after issuance of the permits - - to jointly develop the shared vision for the Lake, including those elements of special interest to the City and County, the citizens, property owners and visitors.

More detailed planning and engineering will continue over at least another decade. As we proceed, we plan to focus on mutual planning activities and to make "every link" count for good. We look forward to working with you to make Lake Ralph Hall the best it can be.

Sincerely,

Thomas E. Taylor  
Executive Director

TET:ths

- C: Honorable Larry Phillips, State Representative  
Jan Cooper, Mayor, City of Ladonia  
Gary J. Fernandes, Citizens for Lake Ralph Hall  
Doug Franklin, Ladonia Citizen  
Brian Sledge, Lloyd Gosselink Rockwell & Lowrie, P.C.  
Todd Madson, President, UTRWD  
Larry Patterson, Director of Water Resources, UTRWD

cc:\m\m\m\13-county\judge\carter.docx

Appendix 1. Letter from Thomas E. Taylor (UTRWD) to The Honorable Creta L. Carter II, Fannin County Judge



# RESOLUTION

## RESOLUTION # 2022 - 43

**A RESOLUTION OF THE BOARD OF DIRECTORS RATIFYING THE DISTRICT'S POSITION AS STATED IN LETTER TO THE FANNIN COUNTY JUDGE DATED SEPTEMBER 10, 2013 RELATED TO HIGH QUALITY DEVELOPMENT AROUND AND ADJACENT TO LAKE RALPH HALL.**

**WHEREAS**, the Upper Trinity Regional Water District ( the "District") is pursuing development of Lake Ralph Hall (the "Project"), located on the North Sulphur River in Fannin County, Texas as a strategic water supply project consistent with the Texas Water Plan to meet the future needs for water within the District's service area; and

**WHEREAS**, on March 24, 2008, the District entered into an agreement with Fannin County concerning and supporting the development of Lake Ralph Hall; and

**WHEREAS**, the District met with State Representative Larry Phillips and Judge Creta L. "Spanky" Carter in September 2013 with a special focus on the prospects for shoreline development, including the prospects for allowing boat docks at Lake Ralph Hall; and

**WHEREAS**, the District issued a letter to Honorable Judge Creta L. "Spanky" Carter on September 10, 2013 summarizing the discussion and reiterating UTRWD's support for economic development, high quality development around and adjacent to the lake, and access to the lake by the public and adjacent private landowners, including provisions for private boat docks; and

**WHEREAS**, the State of Texas has issued Water Rights Permit #5821 on December 11, 2013 by the Texas Commission on Environmental Quality; and

**WHEREAS**, on January 30, 2020, the US Army Corps of Engineers, Fort Worth District issued Permit SWF-2003-00336 under Section 404 of the Clean Water Act of 1972; and

**WHEREAS**, on June 16, 2021, the District initiated construction of Lake Ralph Hall; and

**WHEREAS**, the District, in accordance with its contract with Fannin County, initiated the process to develop a Comprehensive Plan and Zoning Regulations within 5,000 feet of the Conservation Pool of Lake Ralph Hall; and

**WHEREAS**, the Comprehensive Plan and Zoning Regulations have progressed to the point where it is timely and appropriate for the Board of Directors to consider, review and reinforce the provisions included in the September 10, 2013 letter regarding development and land use around Lake Ralph Hall; and

Upper Trinity Regional Water District  
Resolution No. 2022- 43  
Re: Ratification of September 10, 2013 Letter to Judge Creta L. "Spanky" Carter  
September 1, 2022  
Page 2 of 2

**NOW THEREFORE, BE IT RESOLVED BY THE BOARD OF DIRECTORS OF THE UPPER TRINITY REGIONAL WATER DISTRICT:**

**SECTION 1.** That all matters stated in the Preamble are found to be true and correct and are hereby incorporated into the body of this Resolution as if copied in their entirety.

**SECTION 2.** That the Board of Directors of Upper Trinity Regional Water District hereby ratifies and adopts the September 10, 2013 Letter to Honorable Judge Creta L. "Spanky" Carter.

**SECTION 3.** That this Resolution shall become effective immediately upon its passage.

**DULY PASSED AND APPROVED THIS 1<sup>ST</sup> DAY OF SEPTEMBER 2022.**

Recommended: Larry N. Patterson  
Larry N. Patterson, Executive Director








Executed: Brian Roberson  
Brian Roberson, President

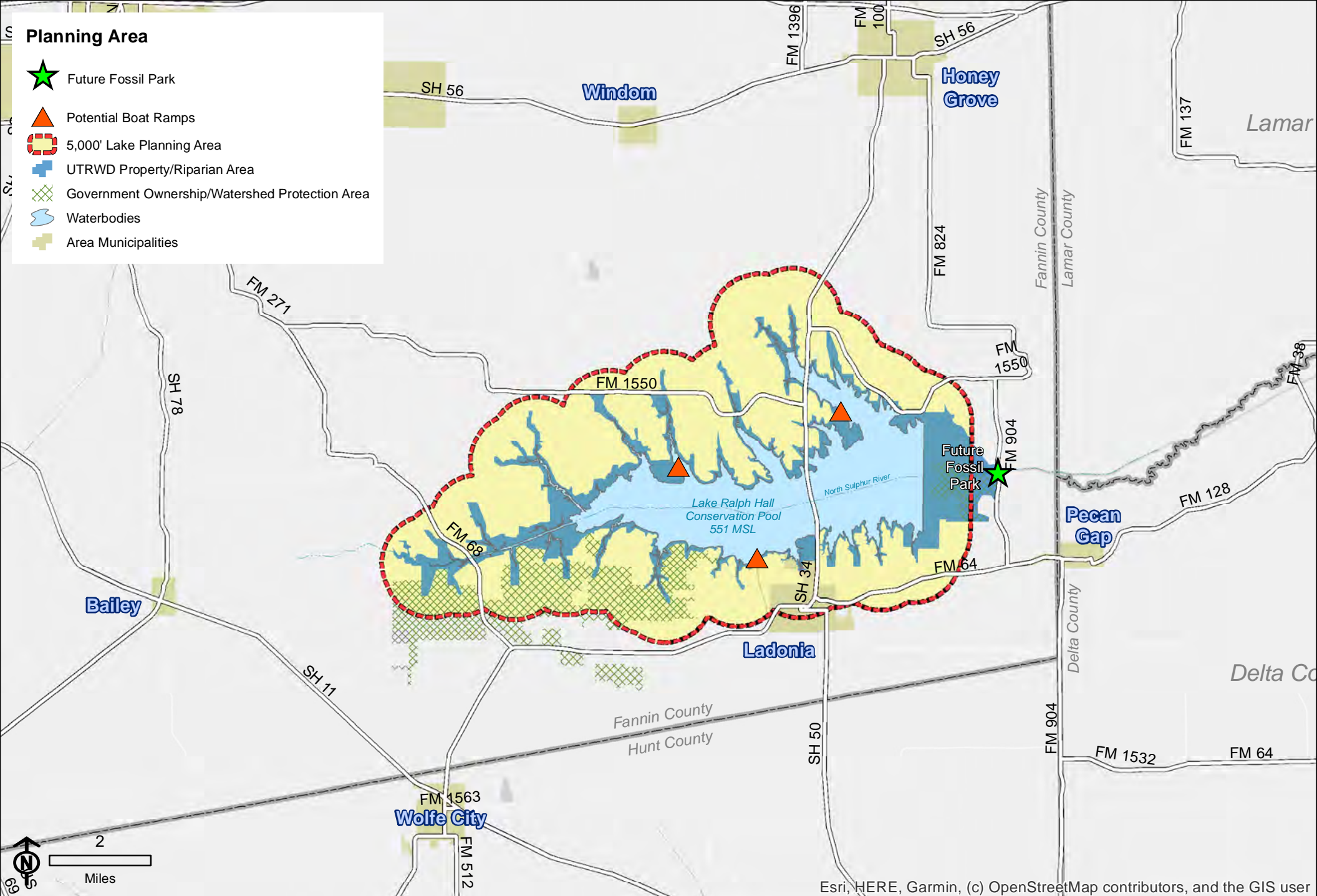
Attest: Greg Scott  
Greg Scott, Secretary

Attachments: Letter to Honorable Judge Creta L. "Spanky" Carter dated September 10, 2013

Appendix 2. Resolution, adopted by UTRWD Board of Directors on September 1, 2022, showing continued support for the September 10, 2013 letter.

**Planning Area**

-  Future Fossil Park
-  Potential Boat Ramps
-  5,000' Lake Planning Area
-  UTRWD Property/Riparian Area
-  Government Ownership/Watershed Protection Area
-  Waterbodies
-  Area Municipalities

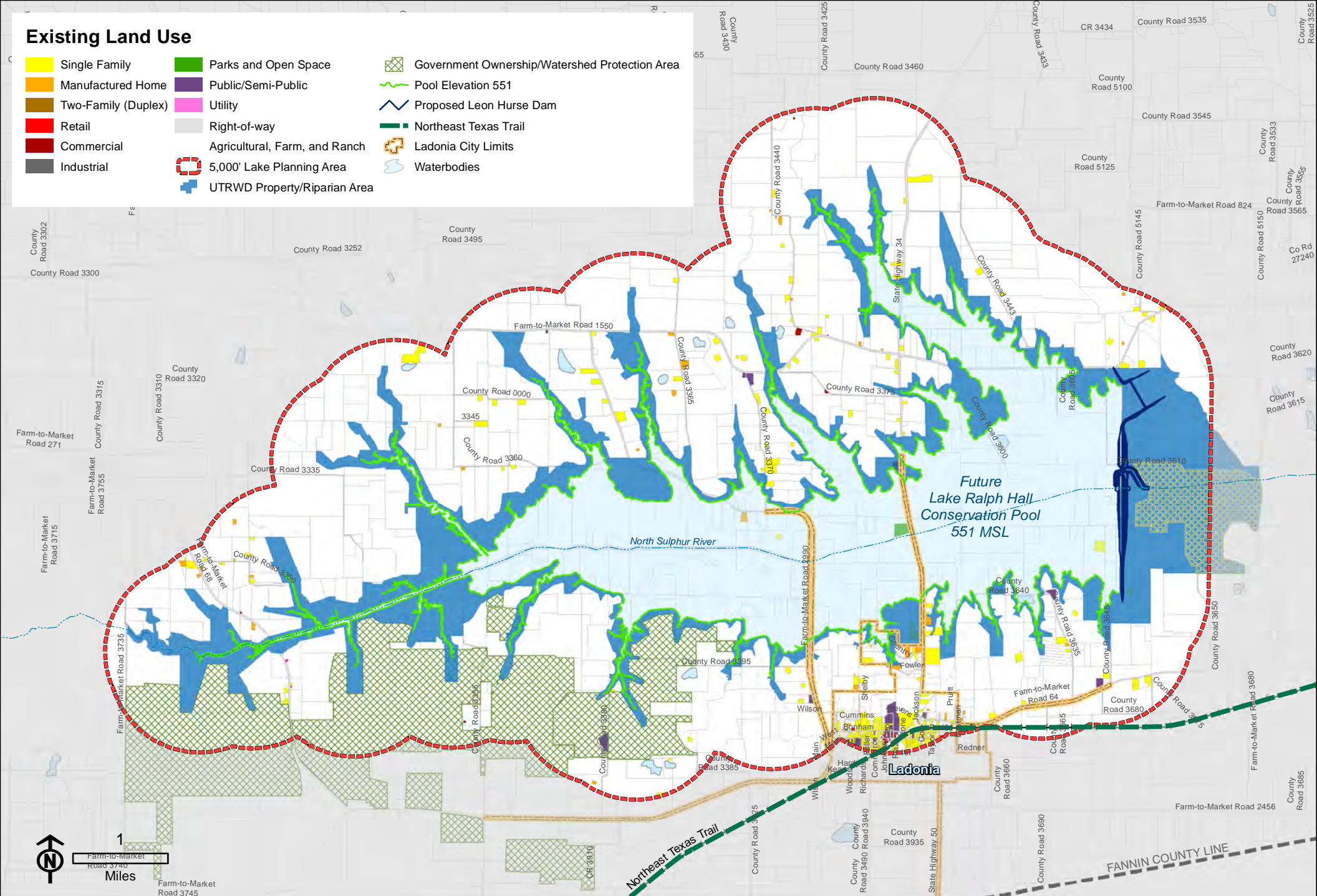


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Appendix 3. Lake Ralph Hall Planning Area

# Existing Land Use

- Single Family
- Manufactured Home
- Two-Family (Duplex)
- Retail
- Commercial
- Industrial
- Parks and Open Space
- Public/Semi-Public
- Utility
- Right-of-way
- Agricultural, Farm, and Ranch
- 5,000' Lake Planning Area
- UTRWD Property/Riparian Area
- Government Ownership/Watershed Protection Area
- Pool Elevation 551
- Proposed Leon Hulse Dam
- Northeast Texas Trail
- Ladonia City Limits
- Waterbodies



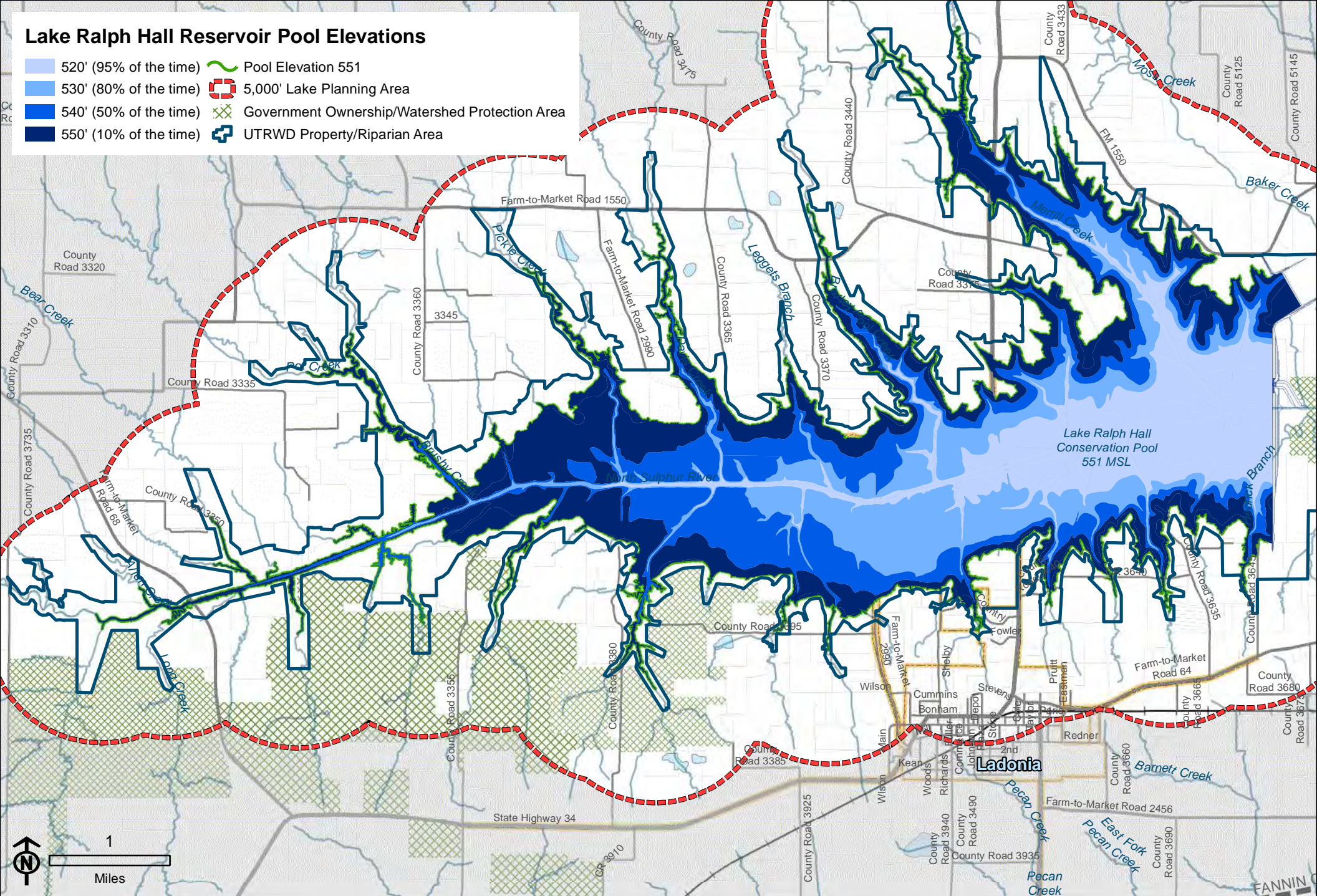
Appendix 4. Existing Land Use





# Lake Ralph Hall Reservoir Pool Elevations















- 520' (95% of the time)
- 530' (80% of the time)
- 540' (50% of the time)
- 550' (10% of the time)
- 5,000' Lake Planning Area
- Pool Elevation 551
- Government Ownership/Watershed Protection Area
- UTRWD Property/Riparian Area

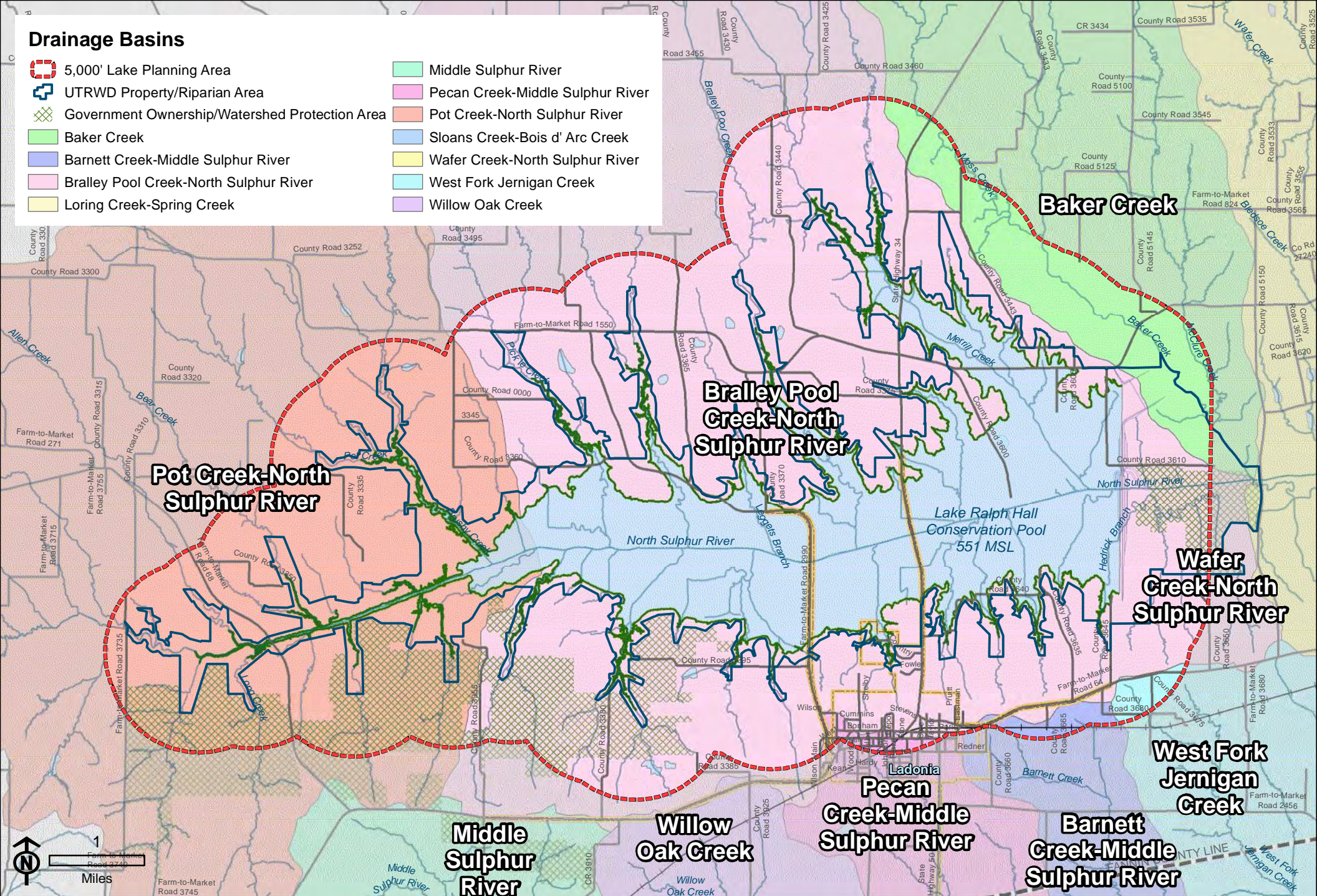


Appendix 7. Reservoir Pool Elevations





# Drainage Basins

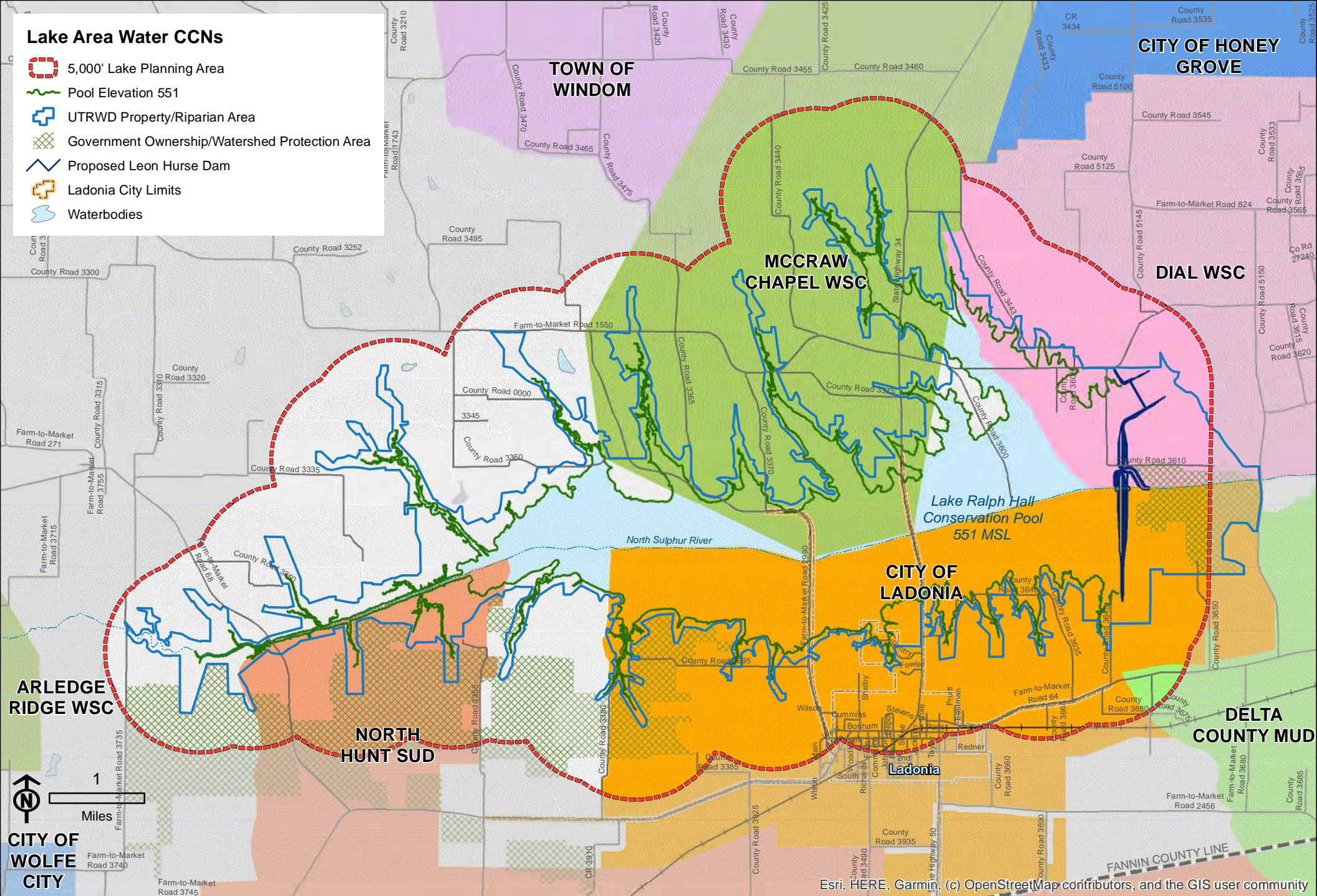
-  5,000' Lake Planning Area
-  UTRWD Property/Riparian Area
-  Government Ownership/Watershed Protection Area
-  Baker Creek
-  Barnett Creek-Middle Sulphur River
-  Bralley Pool Creek-North Sulphur River
-  Loring Creek-Spring Creek
-  Middle Sulphur River
-  Pecan Creek-Middle Sulphur River
-  Pot Creek-North Sulphur River
-  Sloans Creek-Bois d' Arc Creek
-  Wafer Creek-North Sulphur River
-  West Fork Jernigan Creek
-  Willow Oak Creek



Appendix 8. Drainage Basins

### Lake Area Water CCNs

-  5,000' Lake Planning Area
-  Pool Elevation 551
-  UTRWD Property/Riparian Area
-  Government Ownership/Watershed Protection Area
-  Proposed Leon Hulse Dam
-  Ladonia City Limits
-  Waterbodies

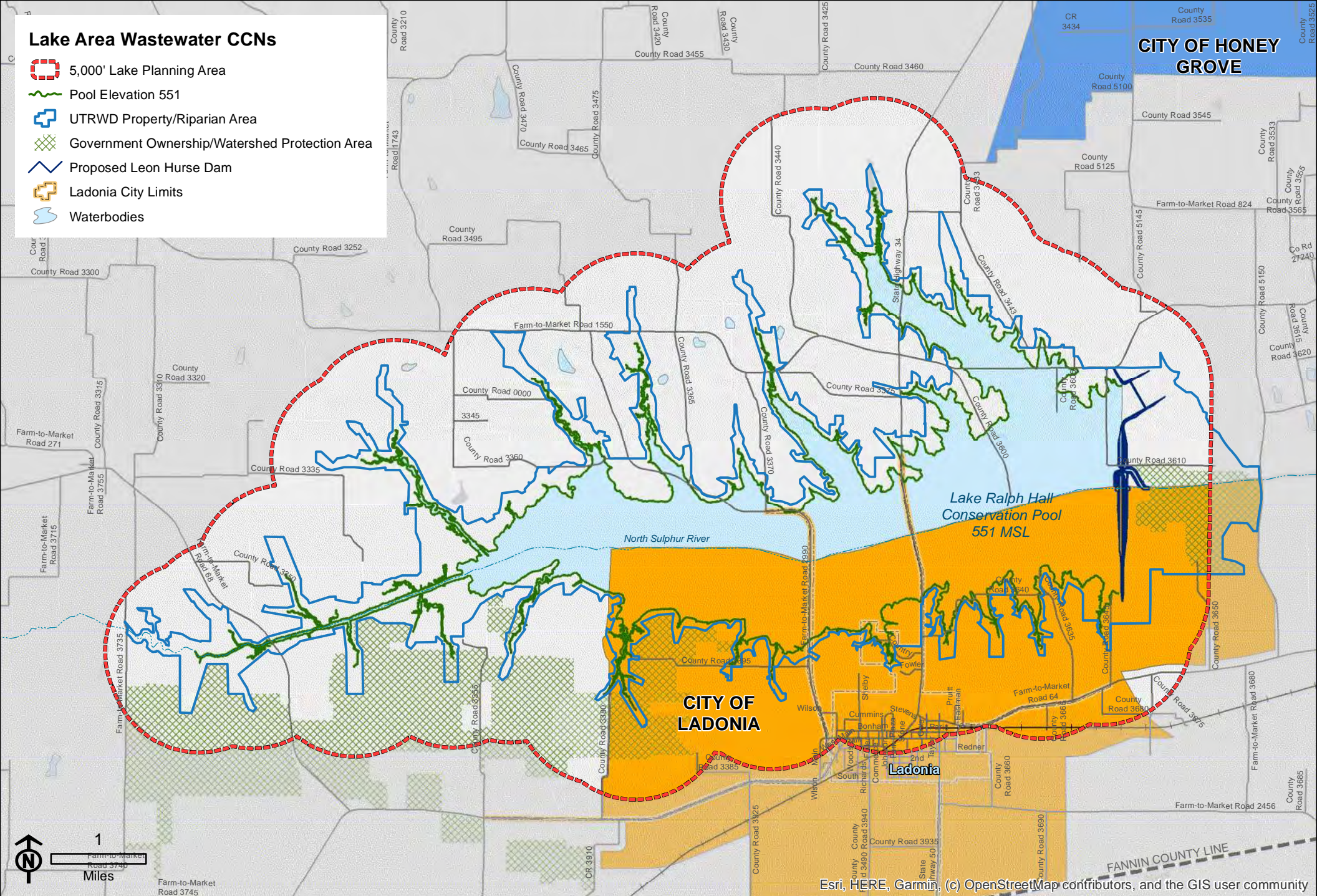


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Appendix 9. Water CCNs

## Lake Area Wastewater CCNs

-  5,000' Lake Planning Area
-  Pool Elevation 551
-  UTRWD Property/Riparian Area
-  Government Ownership/Watershed Protection Area
-  Proposed Leon Hulse Dam
-  Ladonia City Limits
-  Waterbodies

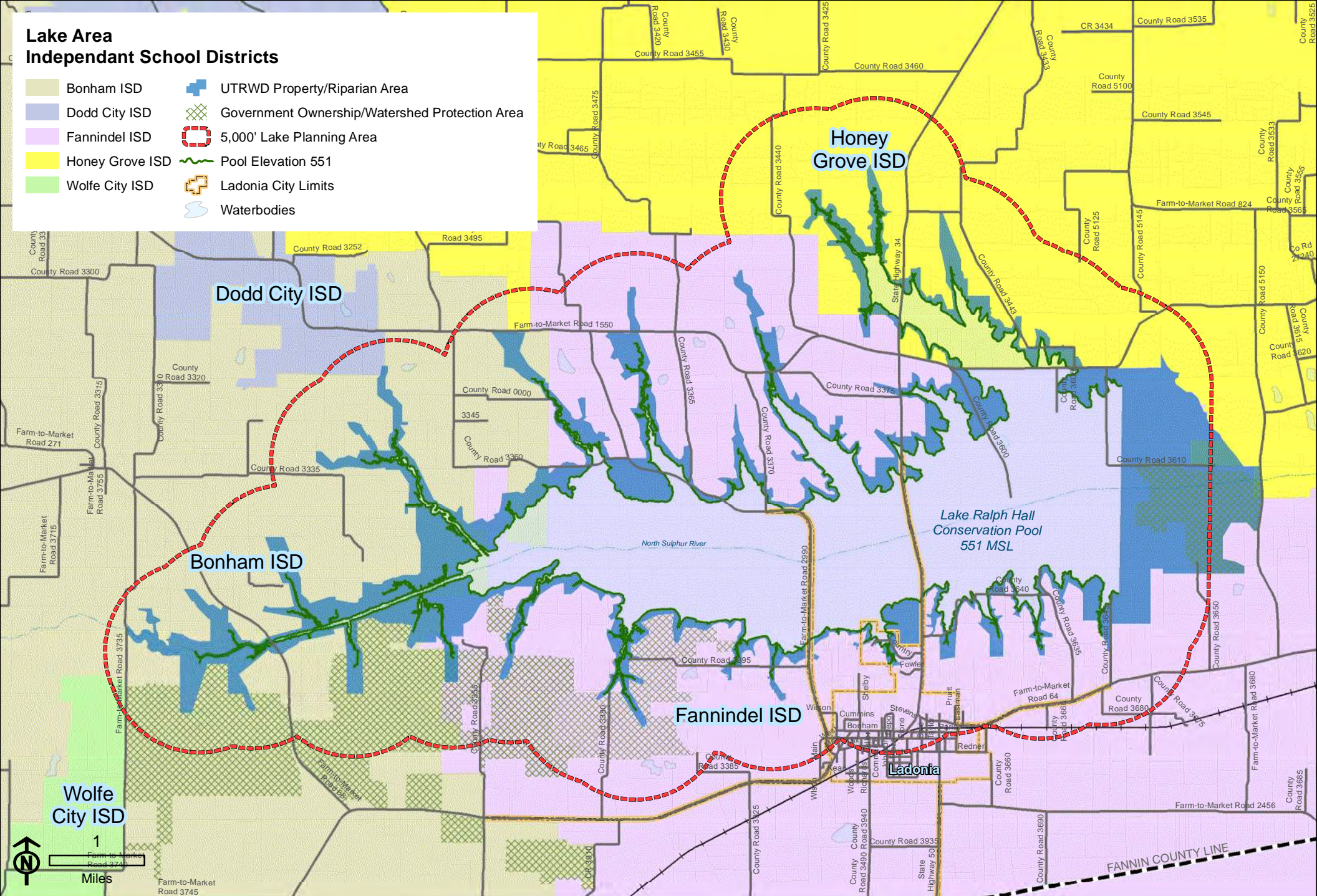


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Appendix 10. Wastewater CCNs

# Lake Area Independent School Districts

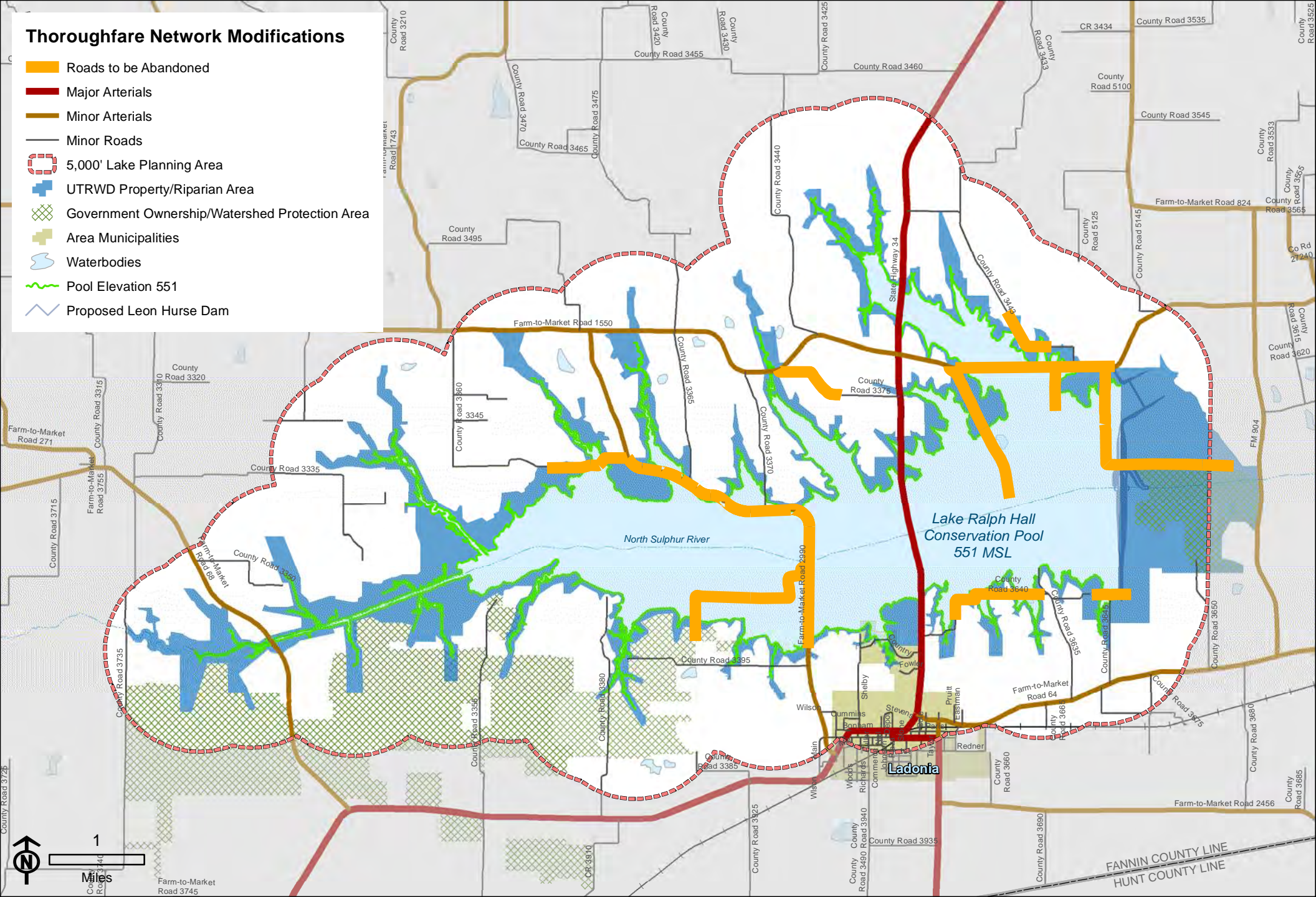
- Bonham ISD
- Dodd City ISD
- Fannindel ISD
- Honey Grove ISD
- Wolfe City ISD
- UTRWD Property/Riparian Area
- Government Ownership/Watershed Protection Area
- 5,000' Lake Planning Area
- Pool Elevation 551
- Ladonia City Limits
- Waterbodies



Appendix 11. Lake Area Independent School Districts

# Thoroughfare Network Modifications

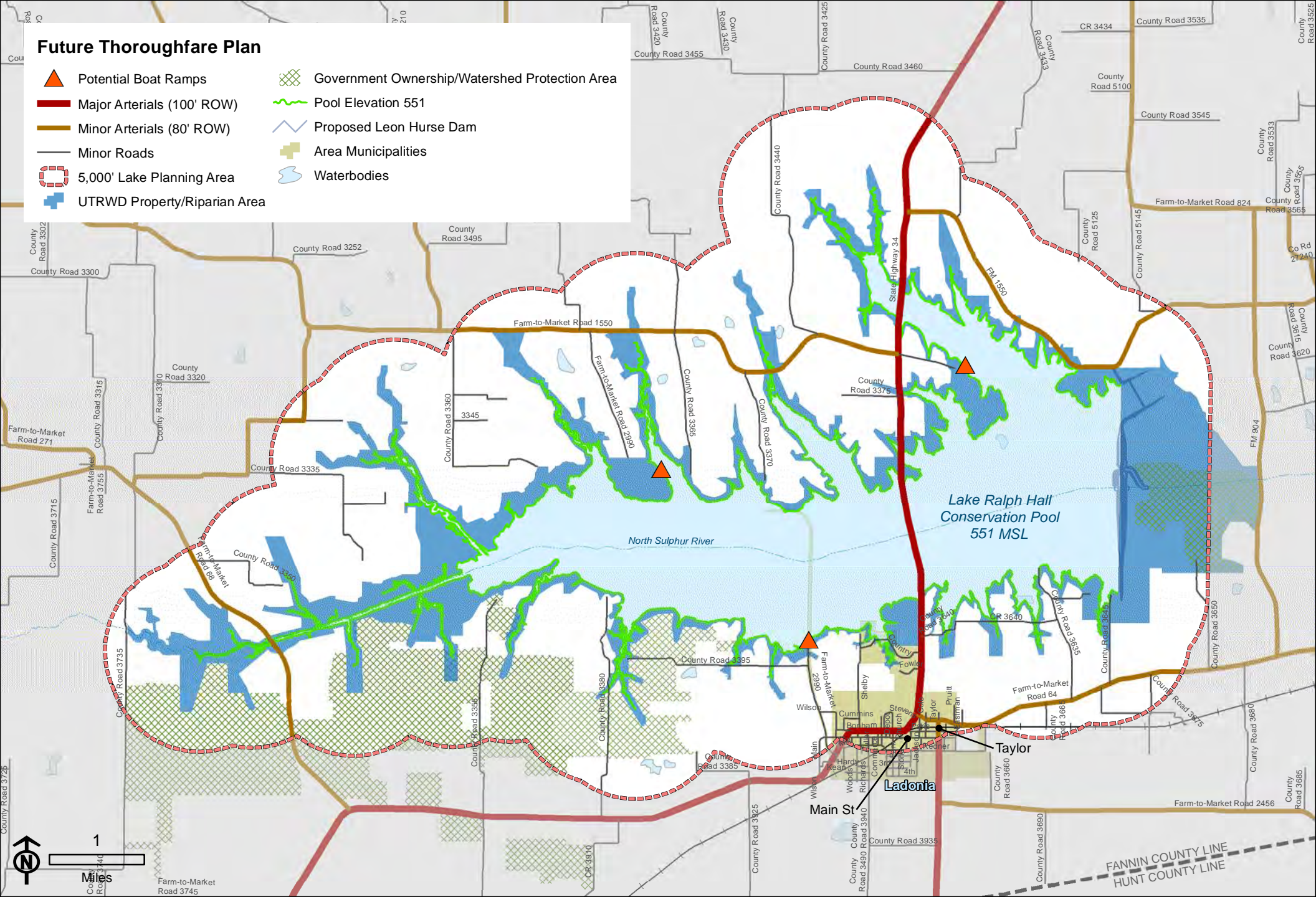
- Roads to be Abandoned
- Major Arterials
- Minor Arterials
- Minor Roads
- 5,000' Lake Planning Area
- UTRWD Property/Riparian Area
- Government Ownership/Watershed Protection Area
- Area Municipalities
- Waterbodies
- Pool Elevation 551
- Proposed Leon Hurse Dam



Appendix 12. Thoroughfare Network Modifications

# Future Thoroughfare Plan

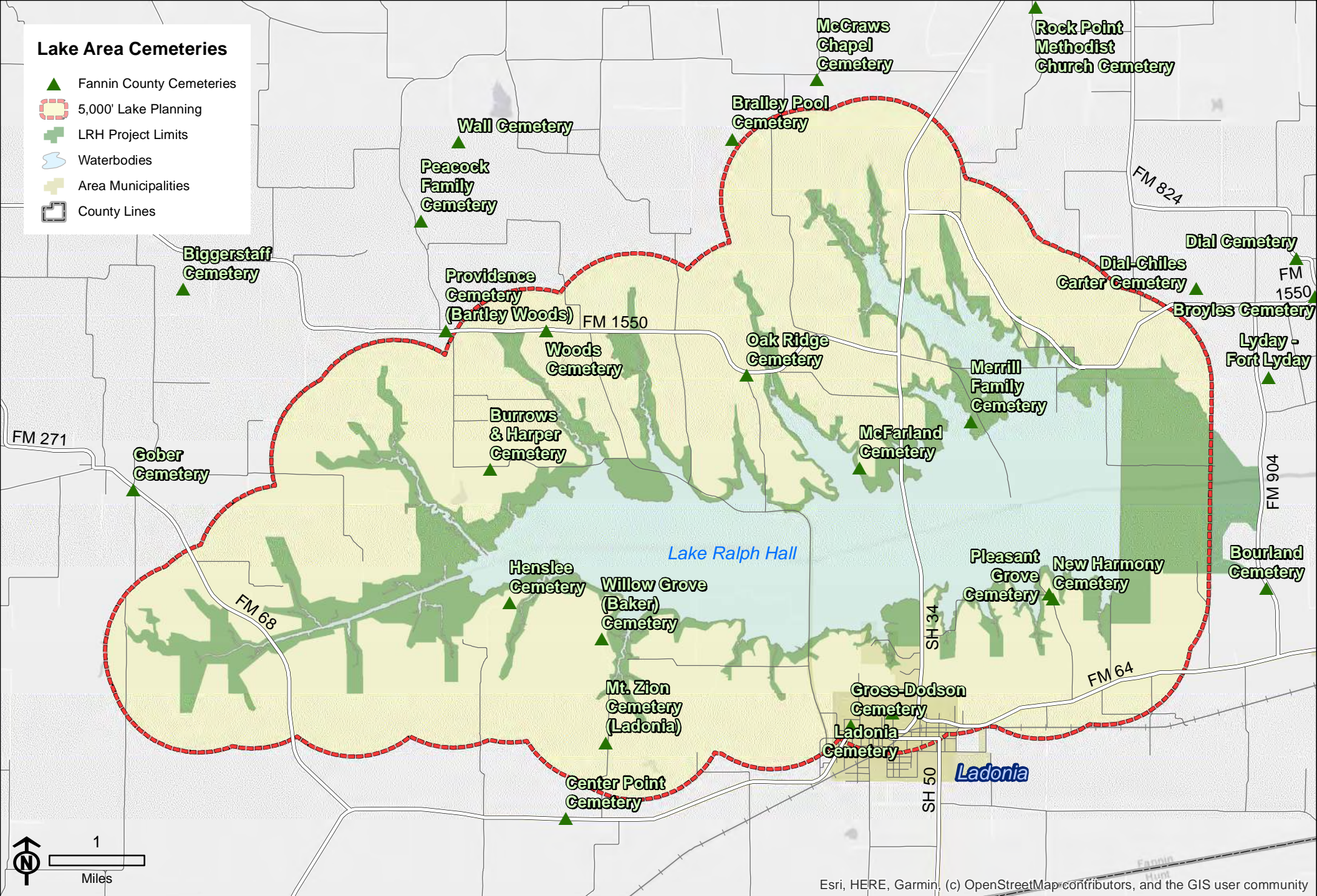
-  Potential Boat Ramps
-  Major Arterials (100' ROW)
-  Minor Arterials (80' ROW)
-  Minor Roads
-  5,000' Lake Planning Area
-  UTRWD Property/Riparian Area
-  Government Ownership/Watershed Protection Area
-  Pool Elevation 551
-  Proposed Leon Hulse Dam
-  Area Municipalities
-  Waterbodies



Appendix 13. Future Thoroughfare Plan

**Lake Area Cemeteries**

- ▲ Fannin County Cemeteries
- 5,000' Lake Planning
- + LRH Project Limits
- ~ Waterbodies
- Area Municipalities
- County Lines

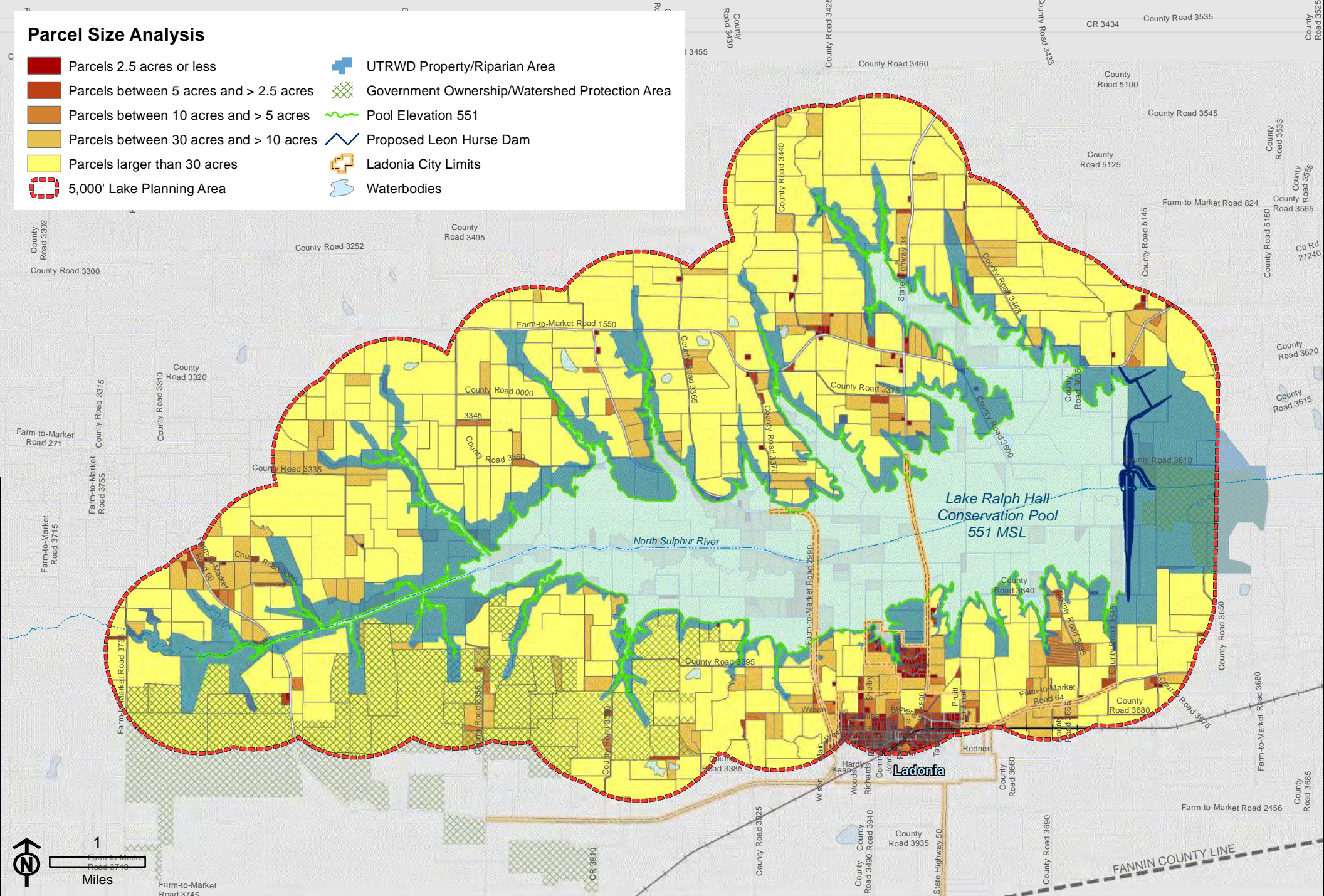


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Appendix 14. Cemeteries

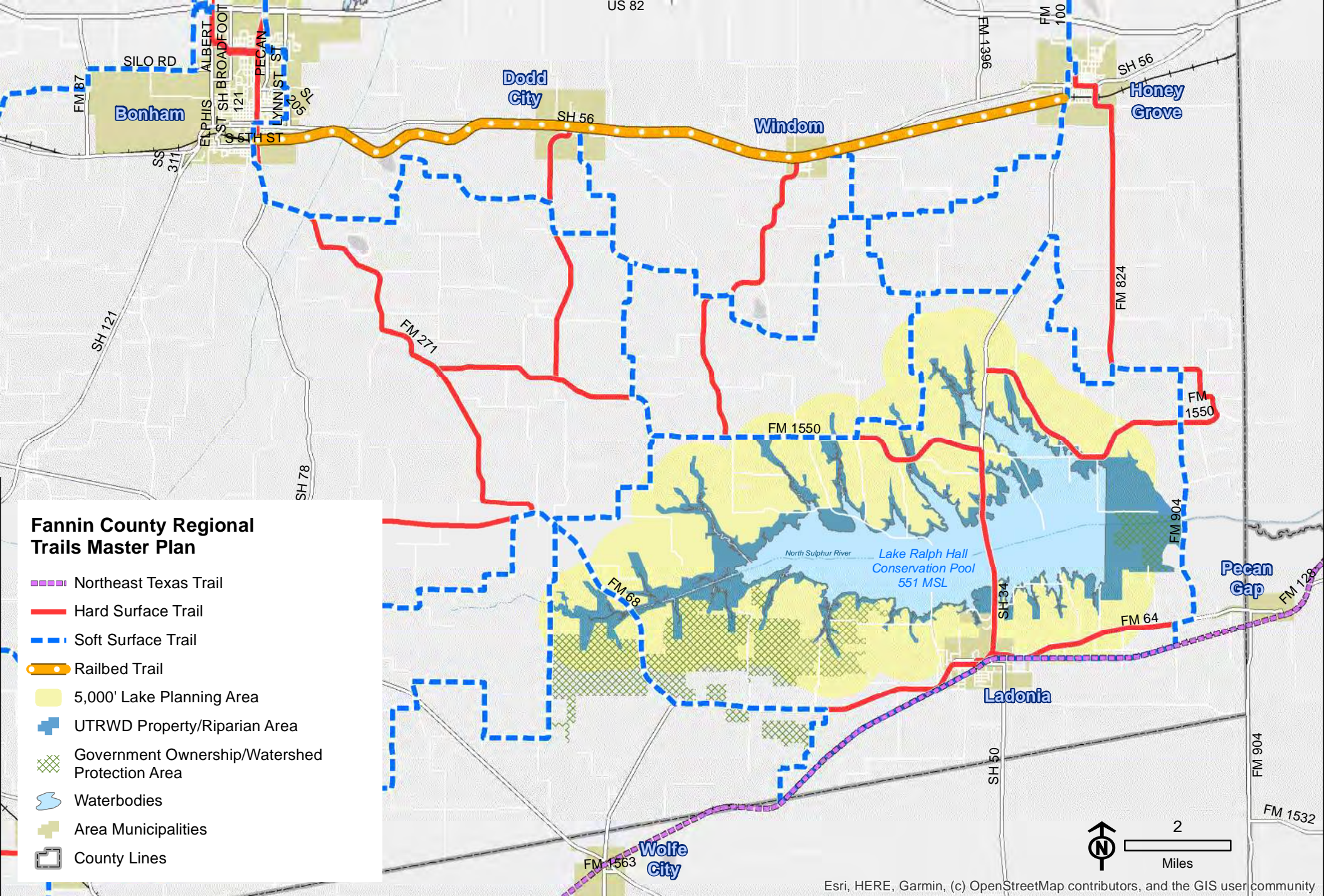
# Parcel Size Analysis

- Parcels 2.5 acres or less
- Parcels between 5 acres and > 2.5 acres
- Parcels between 10 acres and > 5 acres
- Parcels between 30 acres and > 10 acres
- Parcels larger than 30 acres
- 5,000' Lake Planning Area
- UTRWD Property/Riparian Area
- Government Ownership/Watershed Protection Area
- Pool Elevation 551
- Proposed Leon Hurse Dam
- Ladonia City Limits
- Waterbodies



Appendix 15. Parcel Size Analysis





Appendix 16. Fannin County Regional Trails Master Plan

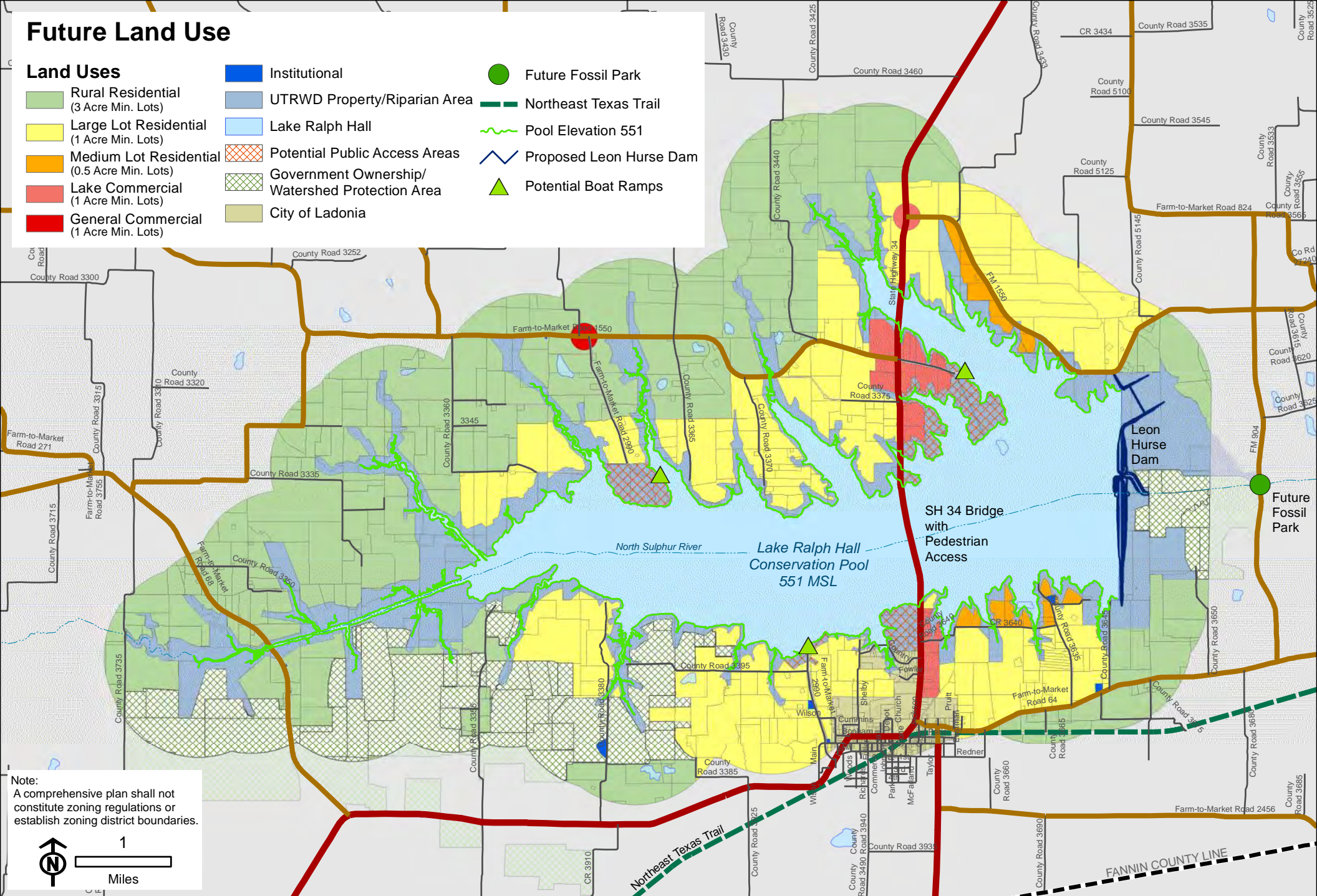
Source: Fannin County Equestrian Trails Association (FETA)



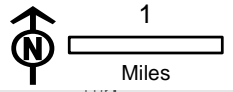
# Future Land Use

## Land Uses

- Rural Residential (3 Acre Min. Lots)
- Large Lot Residential (1 Acre Min. Lots)
- Medium Lot Residential (0.5 Acre Min. Lots)
- Lake Commercial (1 Acre Min. Lots)
- General Commercial (1 Acre Min. Lots)
- Institutional
- UTRWD Property/Riparian Area
- Lake Ralph Hall
- Potential Public Access Areas
- Government Ownership/Watershed Protection Area
- City of Ladonia
- Future Fossil Park
- Northeast Texas Trail
- Pool Elevation 551
- Proposed Leon Hurse Dam
- Potential Boat Ramps



Note:  
A comprehensive plan shall not constitute zoning regulations or establish zoning district boundaries.



Appendix 18. Future Land Use Plan

Source: Fannin County Equestrian Trails Association (FETA)

# Future Land Use

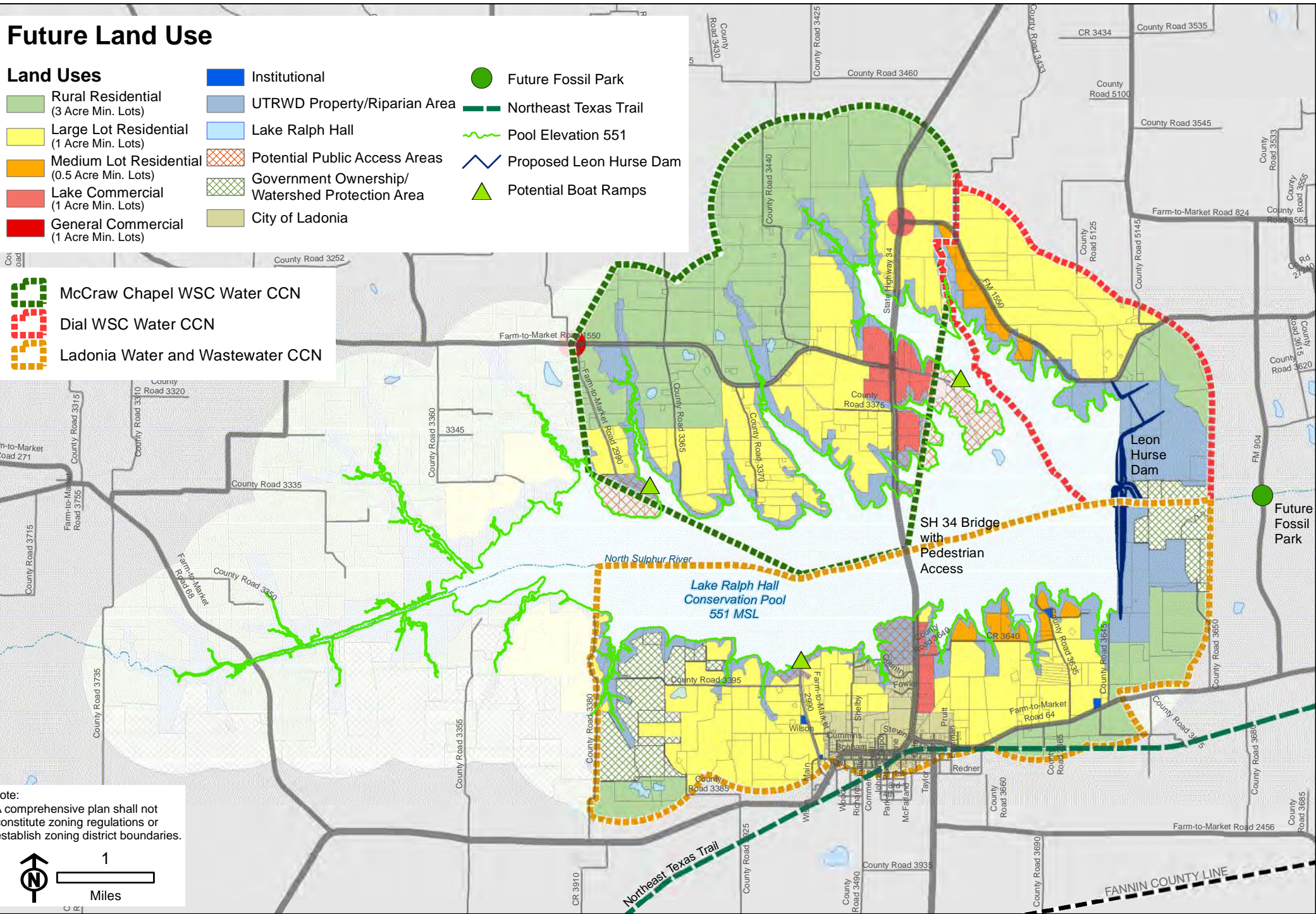
## Land Uses

- Rural Residential (3 Acre Min. Lots)
- Large Lot Residential (1 Acre Min. Lots)
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- Lake Commercial (1 Acre Min. Lots)
- General Commercial (1 Acre Min. Lots)
- Institutional
- UTRWD Property/Riparian Area
- Lake Ralph Hall
- Potential Public Access Areas
- Government Ownership/Watershed Protection Area
- City of Ladonia

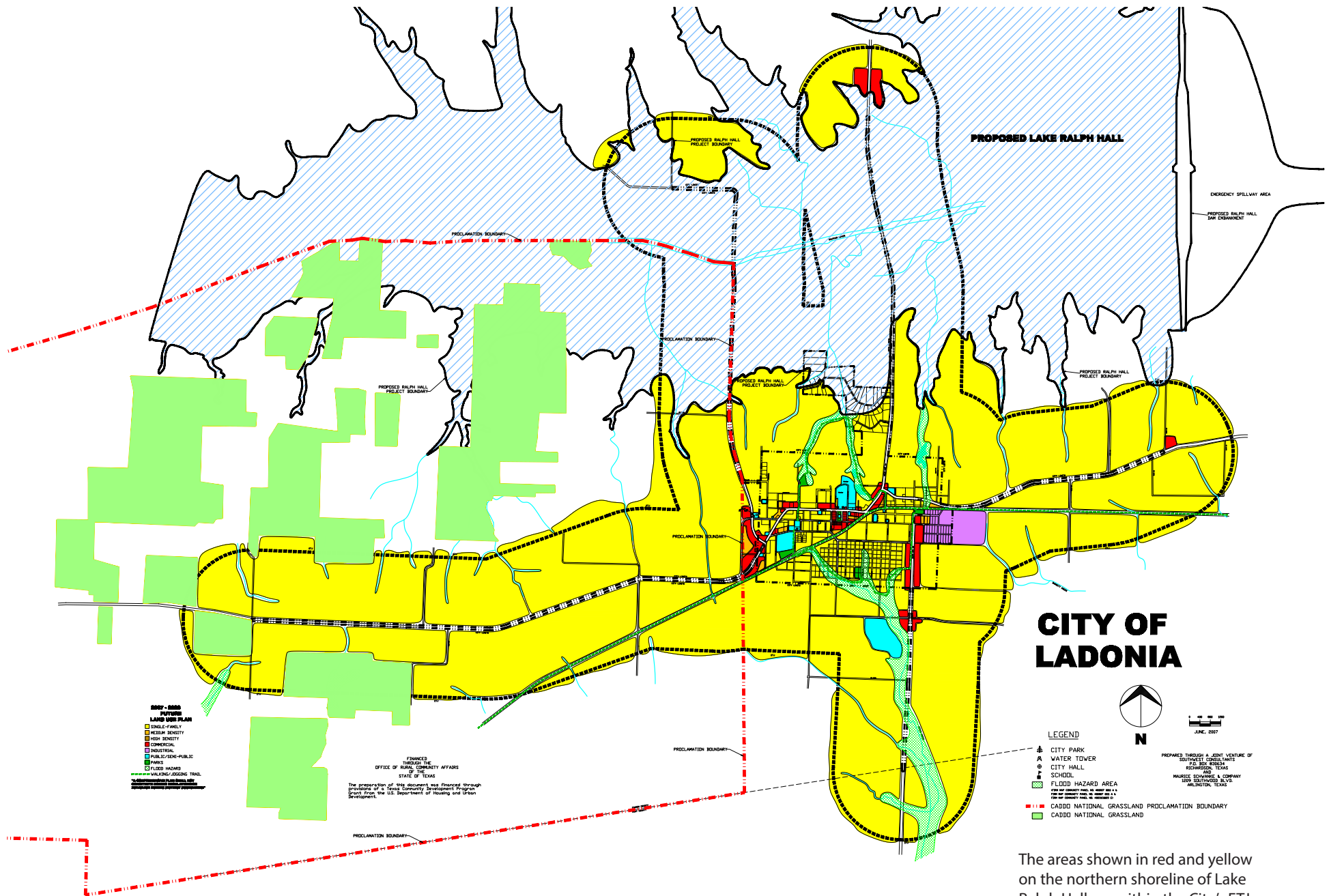
- Future Fossil Park
- Northeast Texas Trail
- Pool Elevation 551
- Proposed Leon Hulse Dam
- Potential Boat Ramps

- McCraw Chapel WSC Water CCN
- Dial WSC Water CCN
- Ladonia Water and Wastewater CCN

**Note:**  
A comprehensive plan shall not constitute zoning regulations or establish zoning district boundaries.



Appendix 19. Future Land Use Plan by CCN



Appendix 20. City of Ladonia Future Land Use Plan

The areas shown in red and yellow on the northern shoreline of Lake Ralph Hall are within the City's ETJ and therefore the City can not enforce zoning on these properties.



# 1

## Lake Ralph Hall Area Comprehensive Plan HOW SHOULD COMMERCIAL DEVELOPMENT BE DESIGNED WITHIN THE LAKE RALPH HALL AREA?



Please place a blue sticker within the corresponding box for the feature you would like to see within commercial development. You may choose more than one option.

**LANDSCAPING ALONG THE STREET FRONTAGE**

Example with landscaping      Example without landscaping

15 blue circles

**PARKING LOT LANDSCAPING**

Example with landscaping      Example without landscaping

15 blue circles

**SCREENING BETWEEN RESIDENTIAL AND COMMERCIAL**

Example with screening      Example without screening

15 blue circles

**DUMPSTER SCREENING**

Example with screening      Example without screening

15 blue circles

**OPEN STORAGE SCREENING**

Example with screening      Example without screening

15 blue circles

**CONTRACTOR YARD SCREENING**

Example with screening      Example without screening

15 blue circles

**DRIVEWAY STANDARDS (Spacing, width and pavement specifications)**

Example of a driveway built to specifications      Example of a driveway not built to driveway specifications

15 blue circles

**DEVELOPMENT STANDARDS FOR RV PARKS**

Example of RV Park with development standards      Example of RV Park without development standards

15 blue circles

# 2

## Lake Ralph Hall Area Comprehensive Plan

### WHAT TYPE OF RECREATIONAL ACTIVITIES SHOULD BE IN THE LAKE RALPH HALL AREA?



Place a green sticker on activities you want to see or feel are appropriate.



Place a red sticker on activities you don't want to see or feel are inappropriate.

**DISCLAIMER:** If Fannin County is able to provide some of these amenities in the future, the Commissioners Court would like to know what amenities residents would like to see.

BOATING & SAILING	PARKS	FISHING	SWIMMING
<p>Powerboats + 7</p>			
WALKING & BIKING TRAILS	CAMP GROUNDS (WITHOUT RVs)	RV PARKS	PICNIC & PUBLIC GATHERING AREAS
<p><b>OTHER RECREATIONAL ACTIVITY IDEAS YOU DO WANT TO SEE</b> Write down your ideas below.</p>		<p><b>OTHER RECREATIONAL ACTIVITY IDEAS YOU DO NOT WANT TO SEE</b> Write down your ideas below.</p>	
<p>Covered Pavilion in park marina site - rest for non-power boats and swimming Need Trinity River to pay &amp; build boat ramp at west side too paved boat ramp up paved nature trails Oak Point Park (Photo)</p>		<p>Theme parks, go-carts NO Powerboats</p>	

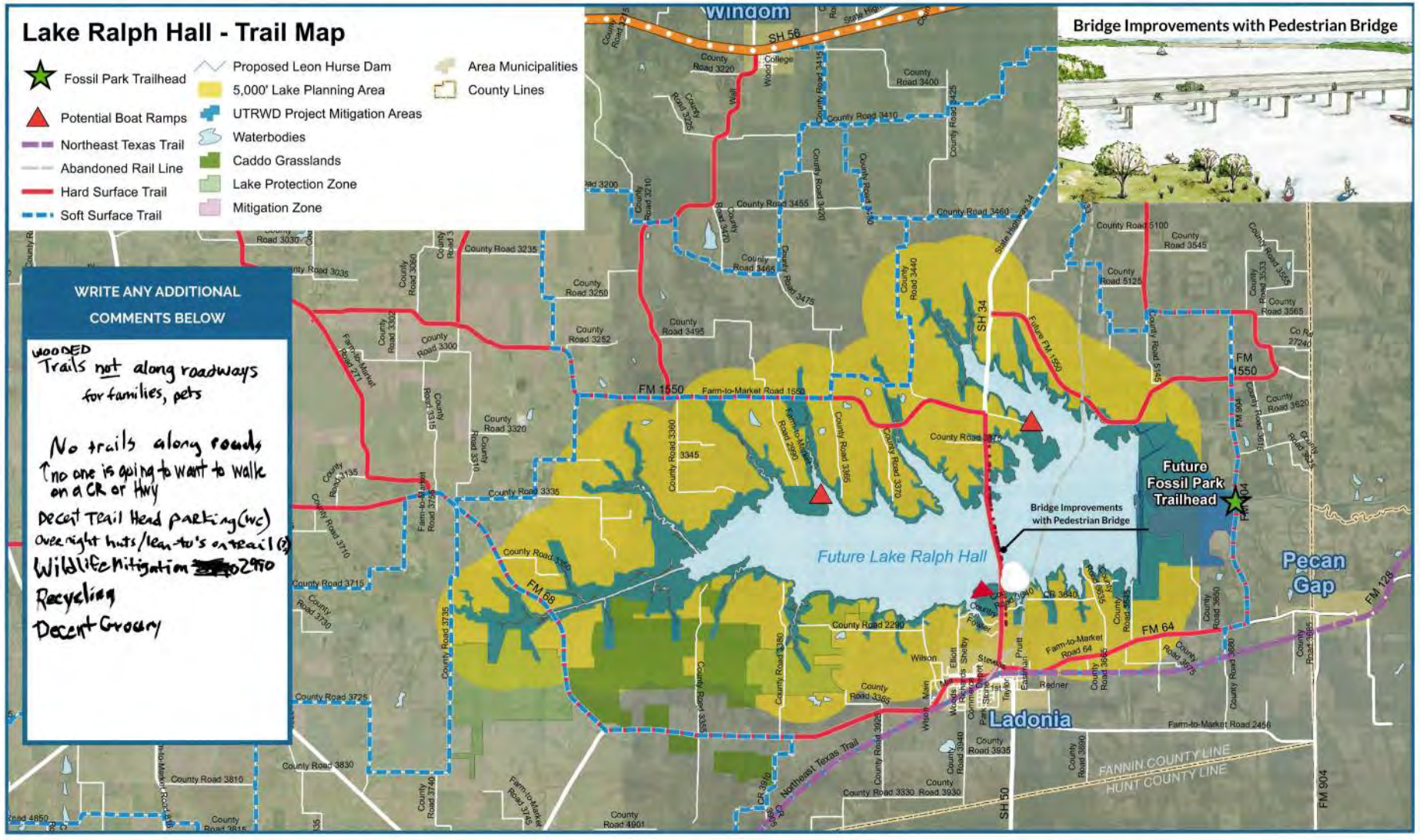


# 3

## Lake Ralph Hall Area Comprehensive Plan HOW CAN WE IMPROVE TRAIL CONNECTIVITY AROUND THE FUTURE LAKE RALPH HALL AREA?



Use a marker to show new trail connections to key areas or existing trail system around the lake.



# 4

## Lake Ralph Hall Area Comprehensive Plan WHAT TYPE OF HOUSING WOULD YOU LIKE TO SEE WITHIN 5,000 FEET AROUND THE LAKE?



Place a green sticker on the housing types you want to see or feel are appropriate

Place a red sticker on housing types you don't want to see or feel are inappropriate

TYPICAL SUBURBAN LOT (LESS THAN 1 ACRES)

Sticker distribution: 1 red, 15 green

ESTATE LOTS (1-2 ACRES)

Sticker distribution: 1 red, 18 green

RANCHETTES (2-10 ACRES)

Sticker distribution: 1 red, 18 green

APARTMENTS

Sticker distribution: 15 red, 1 green

RV PARKS

Sticker distribution: 15 red, 1 green

TINY HOME

Sticker distribution: 15 red, 1 green

MIXED-USE

Sticker distribution: 15 red, 1 green

TOWNHOMES

Sticker distribution: 15 red, 1 green

DUPLEX

Sticker distribution: 15 red, 1 green

**OTHER HOUSING TYPES YOU DO WANT TO SEE**  
Write your suggestions in the space below

Estate Ranches  
Require a 2500  
min sq ft home on  
the lake

**OTHER HOUSING TYPES YOU DO NOT WANT TO SEE**  
Write your suggestions in the space below

No mobile Homes  
No manufacture Homes

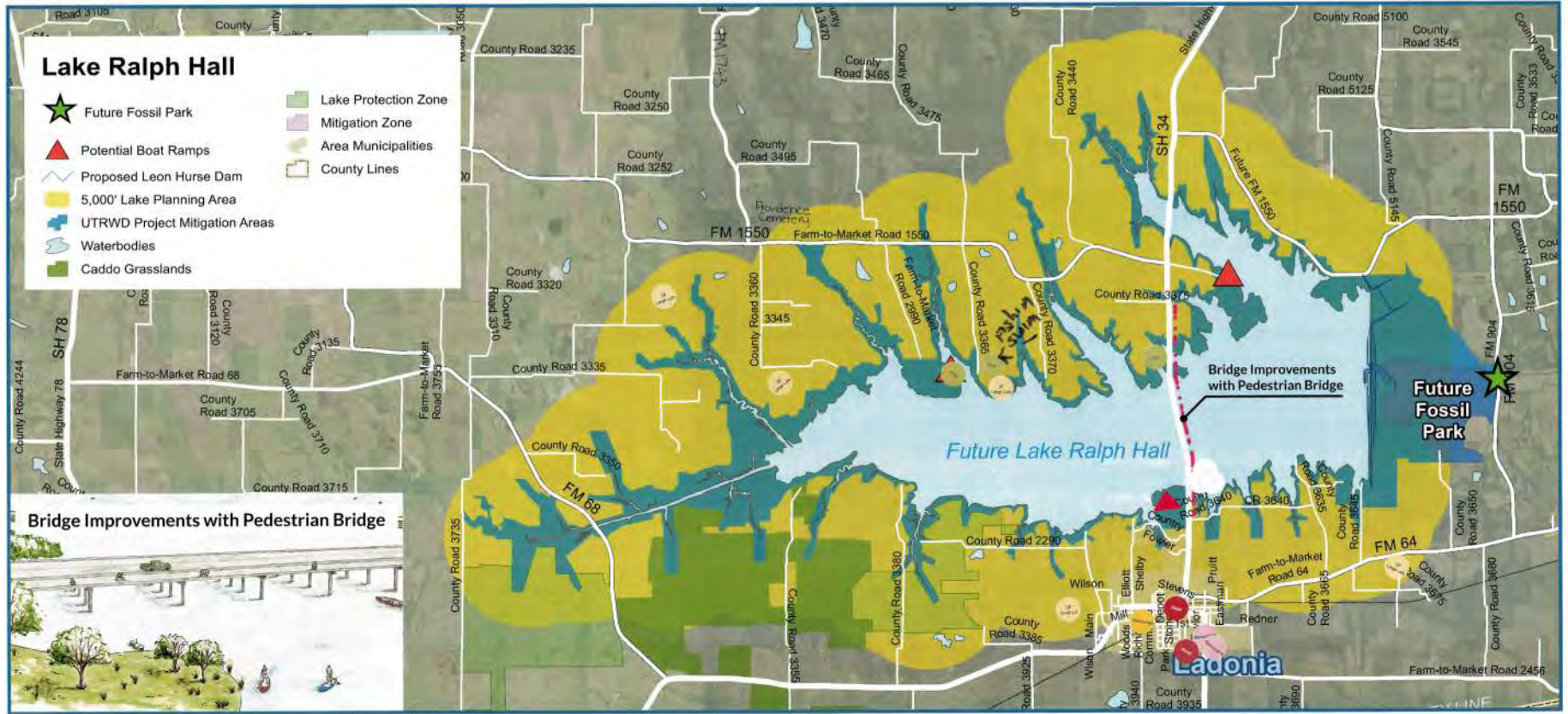
# 5

## Lake Ralph Hall Area Comprehensive Plan WHERE SHOULD NONRESIDENTIAL AND RESIDENTIAL USES BE LOCATED AROUND THE LAKE?



The Lake Ralph Hall Comprehensive Plan will include a Future Land Use Plan that will identify the appropriate location for various land use types within the 5,000 feet around the lake. Use the stickers below to tell us where particular residential or commercial uses should be located in the future around the lake area.

-   
**SF Small Lot**  
*(less than 1 acre)*
  -   
**SF Large Lot**  
*(1 acre or greater)*
  -   
**Apartments**
  -   
**Townhomes**  
*(SF attached)*
  -   
**Manufactured Home Park**
  -   
**Mixed-Use**  
*(residential & non-residential)*
  -   
**RV Park**
  -   
**Park**
  -   
**Restaurants**
  -   
**Retail**
  -   
**Commercial Services**
- Require lg minimum sq. ft. for home on lake 2500+*

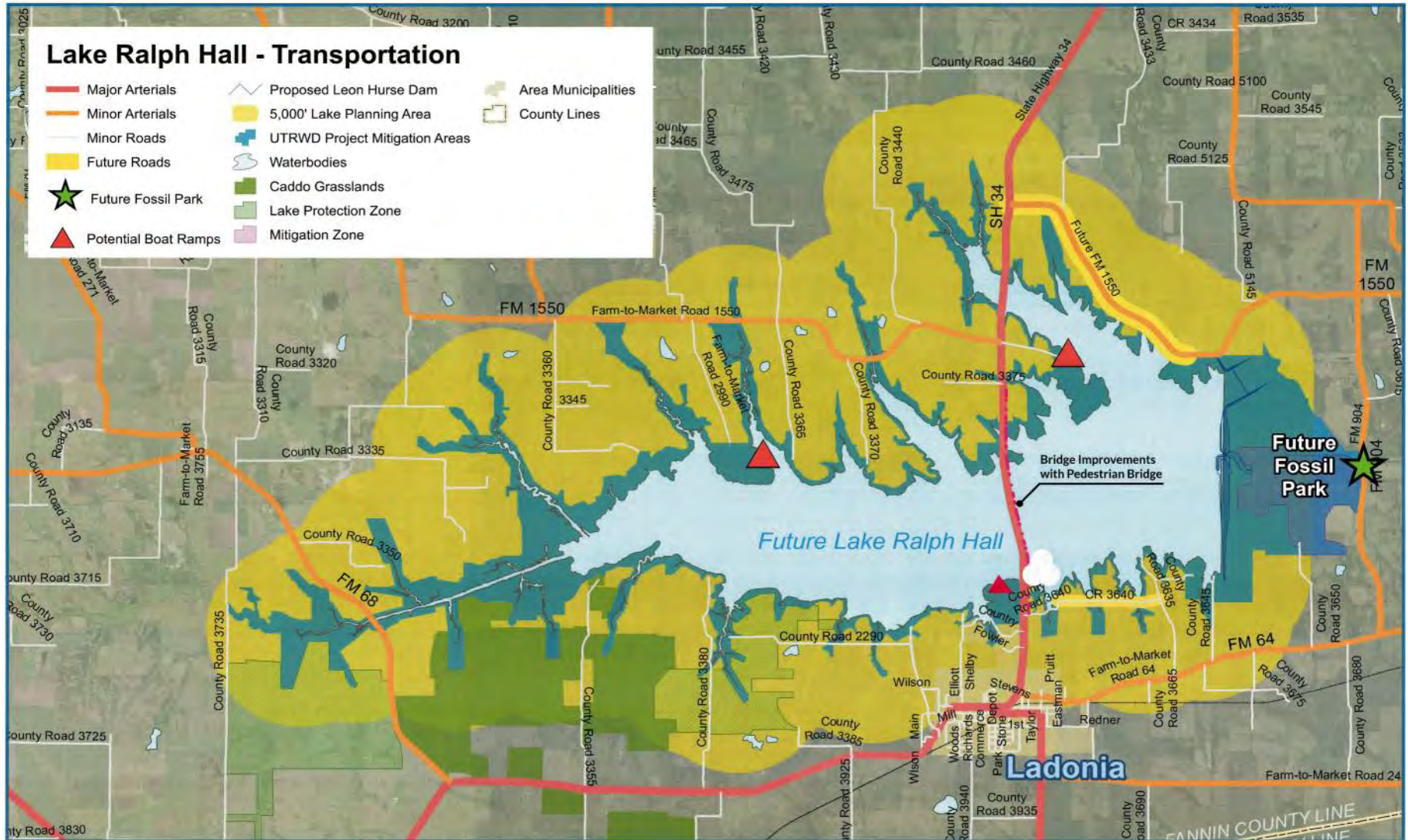


# 6

## Lake Ralph Hall Area Comprehensive Plan TRANSPORTATION IMPROVEMENTS



The map below shows the final street configuration after the lake is filled. Write down any comments or concerns you have regarding the proposed street system on the map below.



# 7

## Lake Ralph Hall Area Comprehensive Plan SWOT ANALYSIS



Tell us the lake area's strengths, weaknesses, opportunities, and threats.  
Write your response in the designated area below each question.

### S

What are the existing qualities or features of the Lake Ralph Hall area that you feel are a strength of the area or community?

Small town charm ✓  
neighbors care  
Beautiful rolling meadow & farms ✓  
rural, quiet, no development  
Agriculture/heritage  
Dark skies for astronomy

### W

What are the existing characteristics or features of the Lake Ralph Hall area that you feel are a weakness of the area or community?

Bad H<sub>2</sub>O in Dial & Honey Grove  
No coordinated economic plan w/ land use  
Lack of leadership w/ poor decisions  
to allow lake w/o <sup>enough</sup> compensation for our county  
current city water reliability & quality  
✓ Tax base loss of land 4 county  
Need step down in creeks to prevent  
erosion fill into new reservoir  
Roads "LACK OF" for development!  
Potable WATER for development!  
- poor infrastructure/industry  
- no high speed internet

# 7

## Lake Ralph Hall Area Comprehensive Plan SWOT ANALYSIS



Tell us the lake area's strengths, weaknesses, opportunities, and threats.  
Write your response in the designated area below each question.

**O** What future opportunities do you think will make a positive impact to the area or community?

Five star resort  
Golf course -vvv  
Retreat Spaces -v  
Bed + Breakfast -vvv  
Nice restaurant + shopping -vvv  
Lake park + tables -vvv  
! dark sky ordinances x 3  
x 3 more

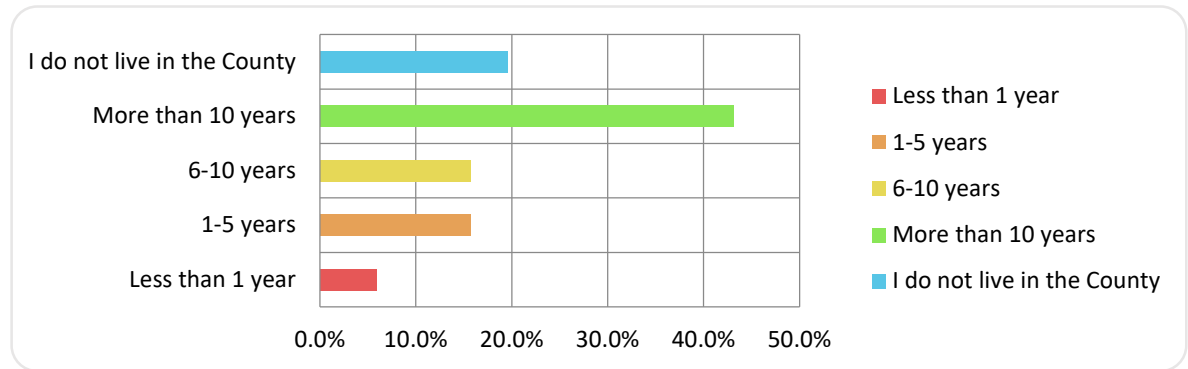
Area like Beavers Bend  
Hornatown

**T** What future threats do you think may negatively impact the area or community?

Water for locals & any future development  
- increase burden on budget for policing area  
- EMS  
Fire Dept.  
- traffic, road conditions  
Who monitors boat + water safety?  
- No INFRASTRUCTURE PWD BY UPPER TRINITY FOR  
FANNIN H2O TREATMENT  
too much development - keep it rural + quiet  
- Higher taxes to landowners  
No ATV Parks or Air B&B  
- livestock/cattle restrictions like Bois d'Arc  
(e.g. limit the no. of animals)  
- Gov w option #3

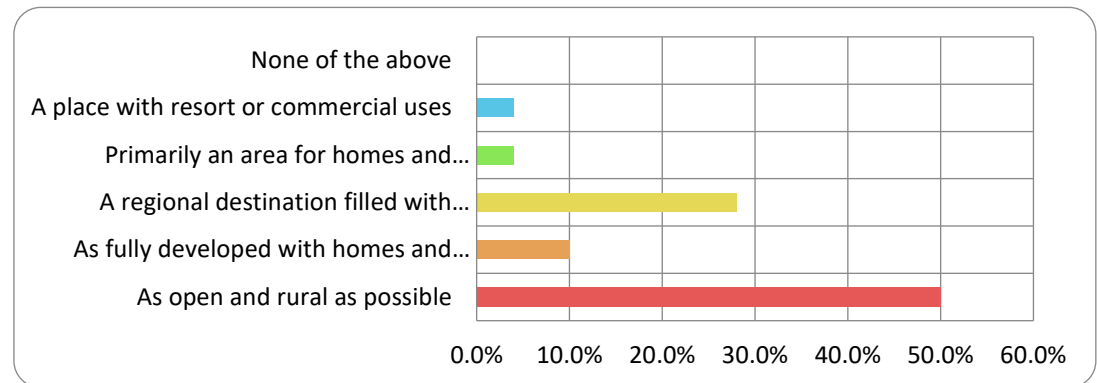
1. How long have you lived in Fannin County?

Answer Choice	No. Responses	Percentage
Less than 1 year	3	5.9%
1-5 years	8	15.7%
6-10 years	8	15.7%
More than 10 years	22	43.1%
I do not live in the County	10	19.6%
Answered	51	
Skipped	0	



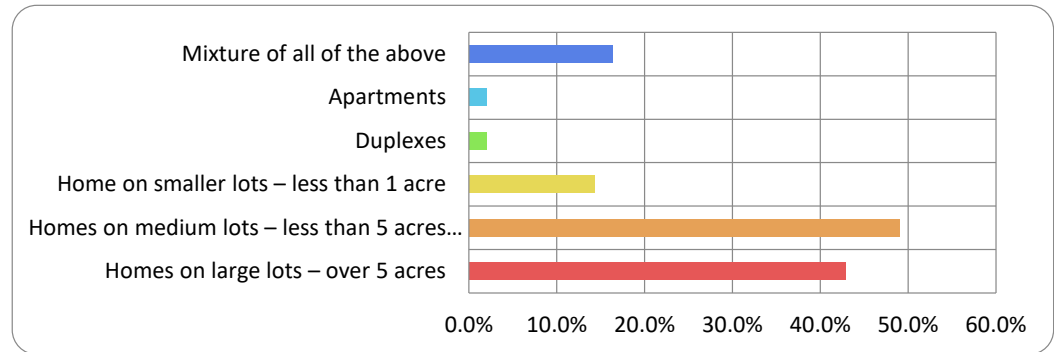
2. Out of the following, which statement do you identify with the most? "I desire the area around the lake (i.e., the area within 5,000' of the shoreline) to be..."

Answer Choice	No. Responses	Percentage
As open and rural as possible	25	50.0%
As fully developed with homes and businesses as possible	5	10.0%
A regional destination filled with recreational uses	14	28.0%
Primarily an area for homes and neighborhoods	2	4.0%
A place with resort or commercial uses	2	4.0%
None of the above	0	0.0%
Answered	50	
Skipped	1	



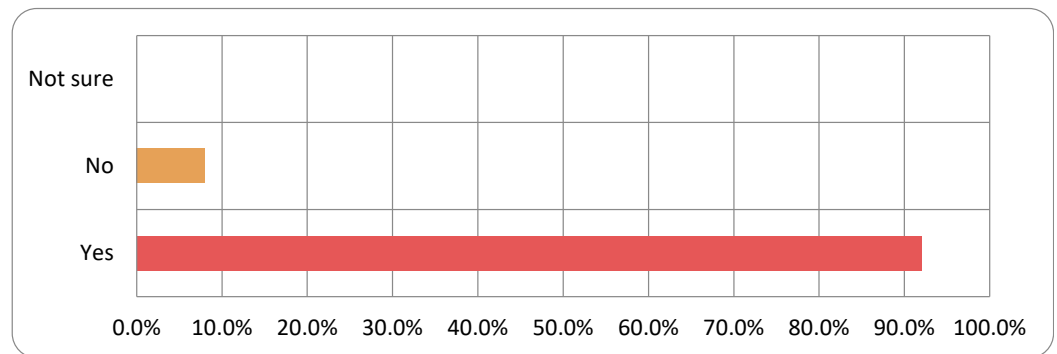
3. Out of the following, please select the residential type or types that are most suitable for the lake area (i.e., the area within 5,000' of the shoreline).

Answer Choice	No. Responses	Percentage
Homes on large lots – over 5 acres	21	42.9%
Homes on medium lots – less than 5 acres but at least 1 acre	24	49.0%
Home on smaller lots – less than 1 acre	7	14.3%
Duplexes	1	2.0%
Apartments	1	2.0%
Mixture of all of the above	8	16.3%
Answered	49	
Skipped	2	



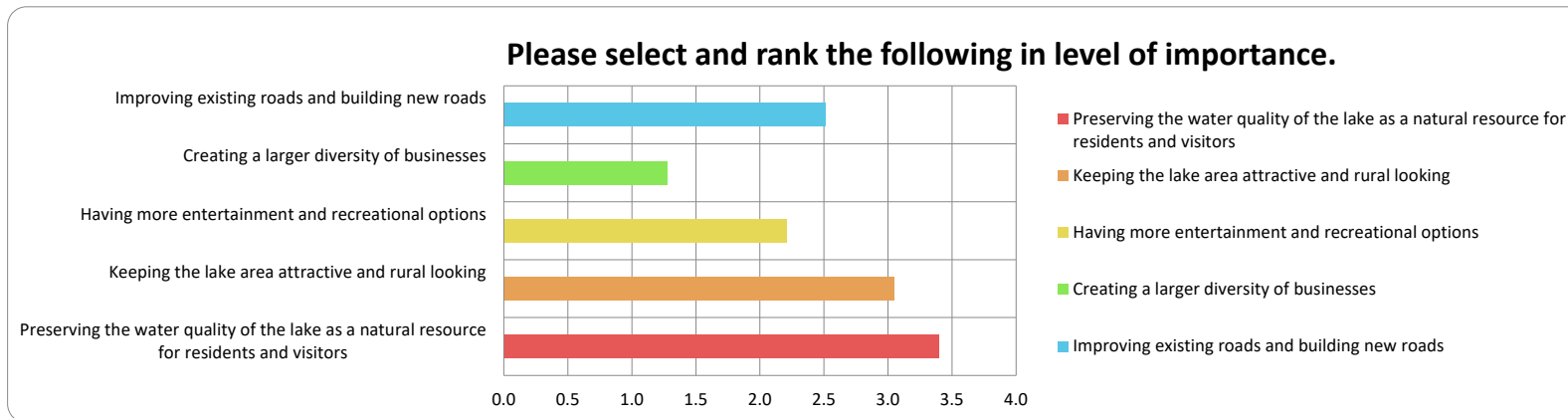
4. Is the look and appearance of land around the lake important to you?

Answer Choice	No. Responses	Percentage
Yes	46	92.0%
No	4	8.0%
Not sure	0	0.0%
Answered	50	
Skipped	1	



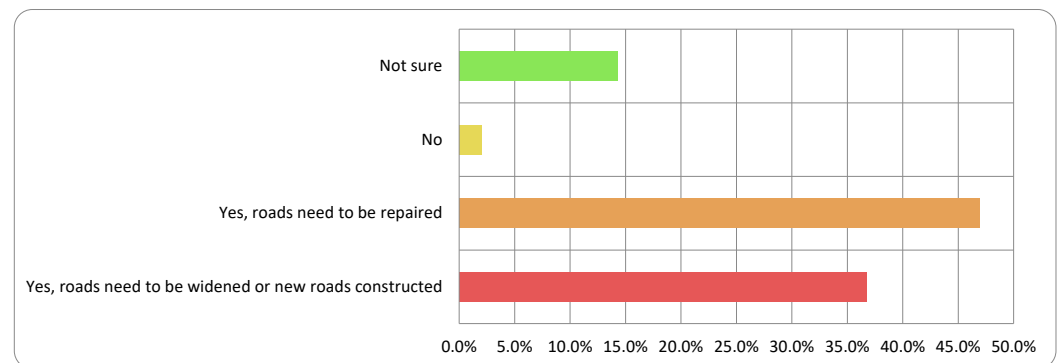


5. Please select and rank the following in level of importance.



6. With increased traffic, do any roads need to be improved (either widened or pot-hole repair)?

Answer Choice	No. Responses	Percentage
Yes, roads need to be widened or new roads constructed	18	36.7%
Yes, roads need to be repaired	23	46.9%
No	1	2.0%
Not sure	7	14.3%
Answered	49	
Skipped	2	





9. How might you be impacted by additional development around the lake?



Answered: 43

Skipped: 8



11. What lakes would be good examples or bad examples to follow? Open response comments are on the next page.

Good Example	Bad Example
Joe Pool Lake	Cooper Lake
Lake Texoma	Lake Tawakoni
Broken Bow	Lake Lavon
Lake Berryessa	Lewisville Lake
Pat Mayes Lake	
Beavers Bend Lake	
Lake Ray Hubbard	
Lake George	
Grapevine Lake	
White Rock Lake	
Cedar Creek Lake	

**Answered:** 42

**Skipped:** 9

12. Do you have any additional comments or ideas regarding the lake? What do you think needs to be considered during the comprehensive planning process?

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**Answered:** 30

**Skipped:** 21

